

**NOTICE AND AGENDA
MIDWAY WATER ADVISORY BOARD
MONDAY, JULY 10, 2017**

Notice is hereby given that the Midway Water Advisory Board will hold their regular meeting Monday, July 10, 2017 at 6:00 p.m. in the Midway City Office Building at 75 North 100 West Midway, Utah. Notice of the meeting and agenda was posted in the Midway City Office Building, Main Street Station and 7-Eleven, a copy was sent to each of the Trustees and a copy posted on the Utah Meeting Notice Web Site.

The agenda shall be as follows:

1. Roll Call
2. General Consent Calendar
 - a. Approve the Agenda for July 10, 2017
 - b. Approve the Minutes of June 5, 2017
3. Shangri La Subdivision - 151 S. 250 W.
 - a. Discuss subdivision water requirements
 - b. Possible recommendation to City Council
4. Kelson Subdivision- A Rural Preservation Subdivision -943 W. Swiss Alpine Rd.
 - a. Discuss subdivision water requirements
 - b. Possible recommendation to City Council
5. Cascades at Soldier Hollow – Phase 2 – 800 West Swiss Alpine Road
 - a. Ratifying City Engineer water right needs
 - b. Possible recommendation to City Council
6. Saint Prex – 800 West Swiss Alpine Road
 - a. Ratifying City Engineer water right needs
 - b. Possible recommendation to City Council
7. Midway Hills Subdivision – 950 West Swiss Alpine Road
 - a. Ratifying City Engineer water right needs
 - b. Possible recommendation to City Council
8. New/Old Business – No motions or recommendations
5. Adjourn

Dated June 29, 2017

Jennifer Sweat
Secretary

The order of individual items on this agenda is subject to change in order to accommodate the needs of the Board and those in attendance. This agenda can be amended up to 24 hours before the meeting. Any Changes will be posted on the agenda located in the Midway City Office Building, 75 North 100 West Midway, Utah

If you are planning to attend this public meeting and need special assistance in accordance with the Americans with Disabilities Act, please notify Jennifer Sweat secretary for the Midway Water Advisory Board prior to the meeting at 435-654-3223 x 101.

**MIDWAY WATER ADVISORY BOARD
MONDAY JUNE 5, 2017
MEETING MINUTES**

Minutes of the Midway Water Advisory Board meeting held June 5, 2017 at 6:00 p.m. in the Midway City Office Building, 75 North 100 West, Midway, UT.

Roll Call

Irrigation Members: Steve Farrell, Brent Kelly, Grant Kohler. Midway City: Mayor Colleen Bonner, City Council Member Karl Dodge and Kenny VanWagoner, Michael Henke, City Planner and Jennifer Sweat, Treasurer/Water Advisory Board Secretary.

General Consent Calendar

Chairman/Mayor Bonner asked for approval of the General Consent Calendar which consisted of:

- a. Approval of the Agenda for June 5, 2017
- b. Approval of the minutes for May 1, 2017

Motion: Midway Irrigation Member Grant Kohler made a motion to approve the General Consent Calendar City. Council Member Karl Dodge 2nd the motion. It was carried unanimously.

River Bottoms Ranch – Located in County

Michael Henke, City Planner presented the following regarding this property

1. RA-1 – Located in Wasatch County
2. 13.09 Acres
3. Single Family/Transient Group Lodge (Nightly Rentals Possible)
4. Well/Sewer
5. Pond, gazebo, fire pit, small loop trail
6. Total Size will be 10,366 square feet combined
 - a. 1st Floor 5, 931 Dining area, large gathering area, game room, sitting room, commercial kitchen, garage, two bathrooms and laundry area
 - b. 2nd Floor 3,155 Residential kitchen/dining area, five bedrooms, three bedrooms, balcony/mezzanine
 - c. 3rd Floor 1,250 two bunk rooms (15 beds possible)

The board reviewed the property via google map, and the plat maps provided by applicant. Paul Berg, the projects engineer was present and could answer any questions the board had. The property was being built in the county, however they had come to City Council to ask if they would be able to hook onto Midway City culinary water. Wes Johnson, City Engineer had

Minutes of the Midway Water Advisory Board
June 5, 2017

calculated the water usage prior to this meeting, and the board reviewed the chart. (see supplemental file for chart). Paul Berg stated that the lodge would be built first and then the guest home would be built later. City Council had approved the use of Midway City Culinary Water, and coming to the water board was to ratify the recommendation from the city engineer.

The board discussed when they would be putting in the water line. Paul stated they would be doing that soon because they are going to go down Dutch Canyon Road, which is being re-done soon, so they want to get it in and ready to before that. Also, it was discussed that the water to be turned in would need to be done with a change application, and it would need to be in the City's name before they could receive services. Applicant understands this.

Mayor Bonner asked if there were further questions regarding this item? There was not.

Motion: Irrigation Member Grant Kohler made the motion for River Bottoms Ranch to be approved to put in the line for water services, however a change application for 3.46 acre feet of water from the Provo River needs to be completed, and placed in the Midway City Well prior to receiving services. This will be for inside use only. City Council Member Kenny Van Wagoner 2nd the motion.

Mayor Bonner asked if there were any questions on the motion? There was not.

Motion was carried unanimously for Recommendation to City Council

Knight Residence – 475 South 250 West

Michael Henke, City Planner presented the following regarding this property

1. The property has three (3) parcels for a total of 9.44 acres
2. The Knight Dwelling parcel is 3.07 acres
3. Currently there is an agricultural building on the property, with no utilities
4. It is a lot of record, and will be a garage with living quarters.

The board reviewed the property via google map, and the maps provided by the applicant. They can build on the parcel, as it was stated it is a lot of record. However, if they decide to build a home later or subdivide then the living quarters would need to be removed from the garage completely and they would need to begin the process of starting a subdivision.

The potential water requirements for the development are .8 acre feet or ½ share of water. The board discussed the outside water, and Co-Chair Steve Farrell believed they already had a connection to the irrigation water, and so this would be for inside water only. Planner Henke did mention that if they decided to build additional homes, they would need to come back to the

water board to get a determination.

Mayor Bonner asked if anyone had any other questions? There was not.

Motion: Midway Irrigation Member Brent Kelly made a motion to recommend to City Council, the Knight Residence located at 475 South 250 West be required to turn in .8 acre feet of water (½ share) for inside water use only. If the applicant decides to build more homes later, they will need to come back before the water board to get a determination of what water would then be required. Midway Irrigation Member Grant Kohler 2nd the motion.

Mayor Bonner asked if there were any questions on the motion? There was not.

Motion was carried unanimously for Recommendation to City Council

Havens Farms – 1170 South Center Street

Michael Henke, City Planner presented the following regarding this property

1. RA-1-43 Zone
2. 67.46 acres
3. 20 lots are being proposed
4. Open space would be required which would be 10.12 acres, (15% of the project) and they are proposing 12.04 acres which is 17.85%. Meet open space requirement.

The board reviewed the property via google map, and the maps provided by the applicant. The representatives for the applicant, Lance Ford and Steve Quesenberry with Kitts Group/Haven Farms was present at the meeting, and would be able to answer any questions the board had. Planner Henke presented a chart showing the water requirement for each lot (see supplemental file for chart). The calculations do differ from the applicant's numbers, because they indicated that the FEMA flood plan would not be irrigated, however historically it has been irrigated and is being irrigated now.

The board discussed the uses of the greenhouse that is already currently on the property. It will become a "club house" with amenities for the homes on the property. The well has been adjudicated, and will go into the City Well when it is required to do so.

The potential water requirements for the development was 181.55 (see supplemental file for detail of water requirement). This includes 145.43 acre feet for the lots, and 36.12 acre feet for the open space. This includes outside and inside water use. The board also discussed the pending ordinance change, which may affect the water requirements.

Mayor Bonner asked if anyone had any other questions? There was not.

Motion: Midway Irrigation Member Grant Kohler made a motion to recommend to City Council for Haven Farms located at 1170 South Center Street be required to turn in 181.55 acre feet of water. They would also need to be connected with meters for secondary water with the irrigation company. It was also stated that this requirement was based on the current code, with a pending ordinance change in effect, which if any changes are made that it will affect this project, the ordinance will be retroactive. Midway Irrigation Member Brent Kelly 2nd the motion.

Mayor Bonner asked if there were any questions on the motion? There was not.

Motion was carried unanimously for Recommendation to City Council

Planner Henke did ask after the motion if there was anything regarding the secondary water we needed to be made aware of? Co-Chair Steve Farrell stated that right now there is a secondary water system on the back of all the lots. Planner Henke stated he thought that all the irrigation appears to then be in the common area of the plat then. Co-Chair Steve Farrell stated that he felt that the irrigation system needed to be changed out and they needed to put in C900 pipe, which will bring everything up to code. Midway Irrigation Member Grant Kohler stated that the representatives needed to let the applicants know this because they had discussed doing some in the berms, and they need to know to use the C900 and not the old pipe. Planner Henke asked how wide of an easement does the irrigation company require? Co-Chair Farrell stated they would like 16 Feet on each side of the pipe, and really would prefer to not have the access in the back of the lots. It would be better to have the secondary water lines in the road. Mayor Bonner asked if this was something plans needed to be done for and brought to the irrigation company? It was decided that it would need to go to DRC and the Midway Irrigation Company board meeting if needed.

New/Old Business

The board discussed the following items:

1. Pending Ordinance Change – Michael Henke is working on putting it together and we do have a couple more months before the pending ordinance expires, but he is working on it.
2. Upcoming coming items on the planning commission.

Mayor Bonner if there were any other items of business to discuss? There was not.

Council Member Kenny VanWagoner moved for adjournment. Midway Irrigation Member Grant Kohler 2nd the motion. It was carried unanimously.

Shangri La Subdivision
151 South 250 West

Midway Water Advisory Project Data Sheet

Name of Project: SHANGRI LA SUBDIVISION.

Address: 151 So 250 W Midway UT 84049.

Name of Developer: LOWMYER ROBERT D. CRIVENTE.

Total Acres of Project: 1.66

Total Acres of Irrigated Land: _____

No. of Buildings: _____

No. of Residential Units: _____

No. of Hotel Units: _____

No. of Seats in Restaurant: _____

No. of Water Fixtures in Commercial Buildings (attach detail if applicable): _____

Utah Administrative Code R317-502-23/Requirements of the Division of Drinking Water:

Other: _____

Other: _____

No. of Acre Feet needed for inside use: _____

No. of Acre Feet needed for outside use: _____

Extension or Modification of the City Water System:

Storage Facilities: _____

Midway Irrigation Company Consent:

a. Storm Water Runoff: _____

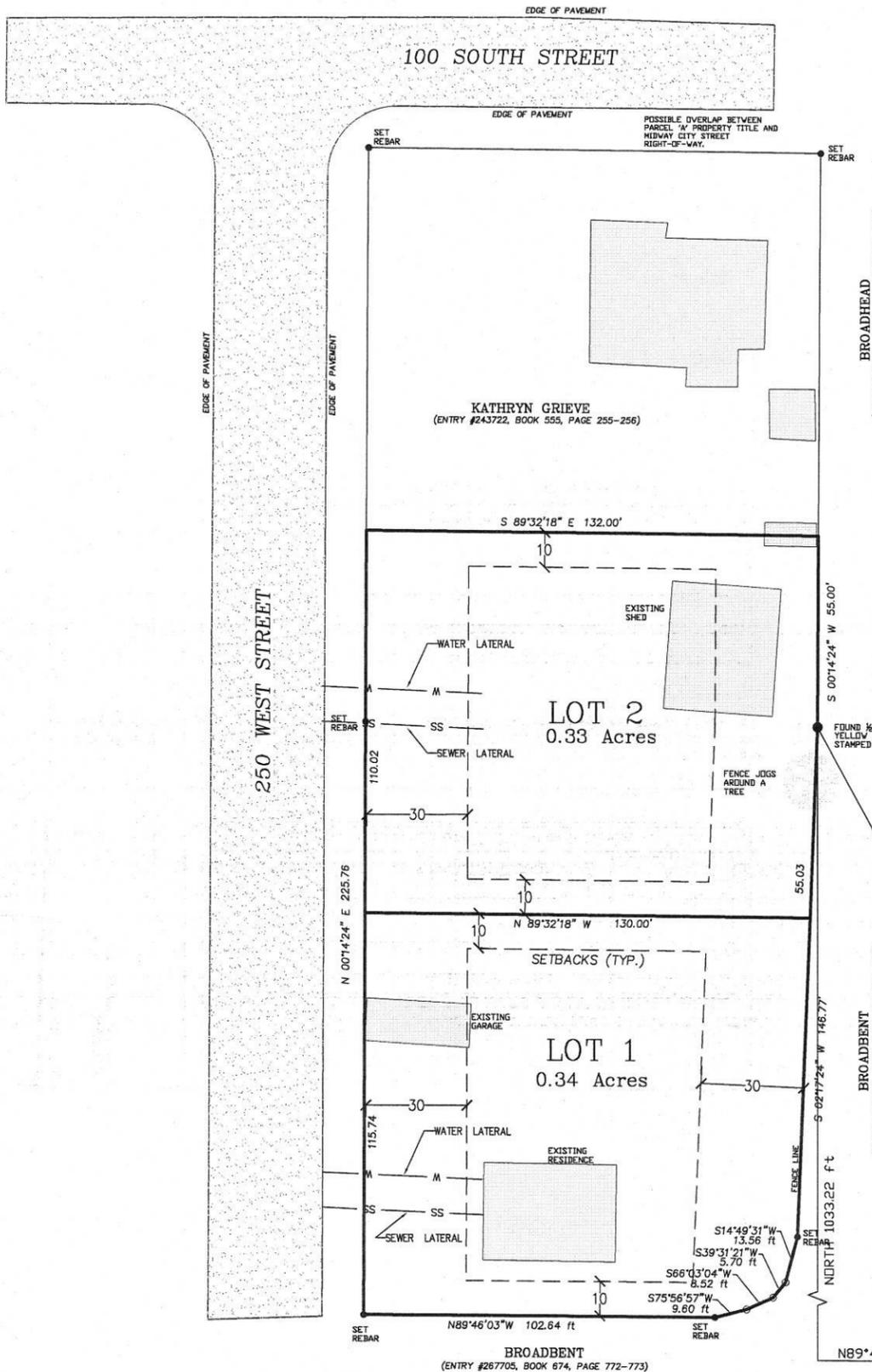
b. Piping of Irrigation Ditch (Easements): _____

c. Relocation of Ditches (Easements) _____

d. Tail Water Control: _____

Secondary Water System: _____

Comments: SPLIT IN 2/3 ACRES + TURNING -
1/4 1/2 SHARE MIDWAY IRRIGATION

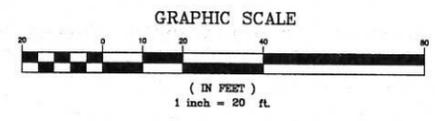


BROADBENT
(ENTRY #267705, BOOK 674, PAGE 772-773)

BROADBENT
(ENTRY #267705, BOOK 674, PAGE 772-773)

100 SOUTH STREET

250 WEST STREET



FOUND WASATCH COUNTY MONUMENT (3" BRASS CAP MARKER SET IN CONCRETE FLUSH W/ GROUND) FOR THE SOUTHEAST CORNER OF SECTION 34, T3S, R4E, SLB&M, SET IN 1995 BY JOE HUBER, (ENTRY #188937, BOOK 330, PAGE 54)

FOUND WASATCH COUNTY MONUMENT (3" BRASS CAP MARKER SET IN CONCRETE FLUSH W/ GROUND) FOR THE SOUTH QUARTER CORNER OF SECTION 35, T3S, R4E, SLB&M, SET IN 1995 BY JOE HUBER, (ENTRY #188935, BOOK 330, PAGE 33)

LOCATION OF PREVIOUS (1976) MONUMENT FOR THE SOUTHWEST CORNER OF SECTION 34, T3S, R4E, SLB&M, (ENTRY 108021, BOOK 107, PAGE 55)

SURVEYOR'S CERTIFICATE

I, BING CHRISTENSEN, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD CERTIFICATE NO. 145796 AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH. I FURTHER CERTIFY BY AUTHORITY OF THE OWNERS, THAT I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW, AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS AND EASEMENTS.

BING CHRISTENSEN
DATE

BASIS OF BEARINGS

THE BASIS OF BEARING FOR THIS SURVEY WAS ESTABLISHED FROM THE STATE COORDINATE AND DEPENDANT RESURVEY OF PORTIONS OF TOWNSHIP 3 SOUTH, RANGE 4 EAST, SALT LAKE BASE & MERIDIAN, AS SHOWN HEREON, THE BEARING FROM THE COUNTY MONUMENT FOR THE SOUTH EAST CORNER OF SECTION 34 TO THE SOUTH QUARTER CORNER OF SECTION 35 IS NORTH 89°54'33" EAST. ALL BEARINGS SHOWN ARE RELATIVE TO GRID NORTH IN CONFORMANCE WITH THE WASATCH COUNTY COORDINATE SYSTEM.

BOUNDARY DESCRIPTION

Beginning at a point having State Plane Coordinates X:22005.680179 and Y:792.355254, said point being located North 89°48'48" West along the Section line 1412.31 feet and North 1033.22 feet from the Southeast Corner of Section 34, Township 3 South, Range 4 East, Salt Lake Base and Meridian;

Thence South 02°17'24" West 146.77 feet; thence South 14°49'31" East 13.56 feet; thence South 39°31'21" West 5.70 feet; thence South 66°03'04" West 8.52 feet; thence South 75°56'57" West 9.60 feet; thence North 89°46'03" East 102.64 feet; thence North 00°14'24" East 175.76 feet; thence South 89°32'18" East 132.00 feet; thence South 00°14'24" West 55.00 feet; to the point of beginning. Area 0.670 acres.

OWNER'S DEDICATION AND CONSENT TO RECORD

I, THE UNDERSIGNED OWNER OF ALL THE REAL PROPERTY DEPICTED ON THIS PLAT AND DESCRIBED IN THE SURVEYOR'S CERTIFICATE ON THIS PLAT, HAVE CAUSED THE LAND DESCRIBED ON THIS PLAT TO BE DIVIDED INTO LOTS AND EASEMENTS, AND OTHER PUBLIC USES AS DESIGNATED ON THIS PLAT, AND NOW DO HEREBY DEDICATE UNDER THE PROVISIONS OF 10-9-807 UTAH CODE, WITHOUT CONDITION, RESTRICTION, OR RESERVATION, TO MIDWAY CITY, UTAH, ALL EASEMENTS, AND ALL OTHER PLACES OF PUBLIC USE, TOGETHER WITH ALL IMPROVEMENTS REQUIRED BY THE DEVELOPMENT AGREEMENT BETWEEN THE UNDERSIGNED AND HEBER CITY FOR THE BENEFIT OF THE CITY AND THE INHABITANTS THEREOF.

NAME _____ DATE _____
NAME _____ DATE _____

OWNER'S ACKNOWLEDGMENT

STATE OF UTAH
COUNTY OF WASATCH

ON THE _____ DAY OF _____, 2017, PERSONALLY APPEARED BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, THE SIGNER OF THE ABOVE OWNER'S DEDICATION, WHO DULY ACKNOWLEDGED TO ME THAT HE SIGNED FREELY AND VOLUNTARILY AND FOR THE USES AND PURPOSES THEREIN MENTIONED.

NOTARY PUBLIC _____ MY COMMISSION EXPIRES _____

ACCEPTANCE BY LEGISLATIVE BODY

THE CITY COUNCIL OF MIDWAY CITY, WASATCH COUNTY, UTAH, APPROVES THIS SUBDIVISION SUBJECT TO THE CONDITIONS AND RESTRICTIONS STATED HEREON, AND HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC THIS _____ DAY OF _____, 2017.

MAYOR _____
CLERK-RECORDER _____

MIDWAY CITY ENGINEER APPROVAL

CITY ENGINEER _____ DATE _____

PLANNING COMMISSION APPROVAL

APPROVED THIS _____ DAY OF _____, 2017 BY THE PLANNING COMMISSION OF MIDWAY CITY.

CHAIRMAN, PLANNING COMMISSION _____

WASATCH COUNTY SURVEYOR

APPROVED AS TO FORM THIS _____ DAY OF _____
ROS # _____
COUNTY SURVEYOR _____ DATE _____

WASATCH COUNTY RECORDER

L17-133
SHEET
1 OF 1
ISSUE DATE
6/12/2017



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WARNING ALTERNATIVE

IT IS A VIOLATION OF LAW FOR ANY PERSON, OTHER THAN THE SURVEYOR, TO ALTER OR REMOVE ANY OF THE INFORMATION ON THIS DOCUMENT IN ANY WAY. ANY PERSON WHO ALTERS THIS DOCUMENT IS REQUIRED BY LAW TO AFFIX THEIR SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY THEIR SIGNATURE AND DATE TO THE REVERSE OF THE ALTERNATIONS.

SHANGI-LA SUBDIVISION

PRELIMINARY PLAT
MIDWAY CITY, UTAH

Kelson Subdivision – Rural Preservation
943 West Swiss Alpine Road

Midway Water Advisory Project Data Sheet

Name of Project: Kelson Subdivision - A Rural Preservation Subdivision

Address: 943 West Swiss Alpine Road

Name of Developer: Jim Kelson

Total Acres of Project: 20.78

Total Acres of Irrigated Land: _____

No. of Buildings: _____

No. of Residential Units: 4 (1 Existing, 3 New)

No. of Hotel Units: _____

No. of Seats in Restaurant: _____

No. of Water Fixtures in Commercial Buildings (attach detail if applicable): _____

Utah Administrative Code R317-502-23/Requirements of the Division of Drinking Water:

Other: _____

Other: _____

No. of Acre Feet needed for inside use: 4 x 0.80 af = 3.2 af

No. of Acre Feet needed for outside use: 6.79 acres x 3 af/acre = 20.37 af

Total = 3.2 + 20.37 = 23.57 af = 7.86 shares

Extension or Modification of the City Water System:
Existing water line near subdivision will be extended in the private driveway to serve the three new lots.

Storage Facilities: _____

Midway Irrigation Company Consent:

a. Storm Water Runoff: None required by city engineer due to lot size.

b. Piping of Irrigation Ditch (Easements):
West Bench ditch will remain as is.

c. Relocation of Ditches (Easements) West Bench ditch will remain as is.

d. Tail Water Control: None required.

Secondary Water System: Pressurized irrigation to be provided to each lot.

Comments:
Lot 1 has 3.78 acres of irrigated area.
Lot 2 has 0.81 acres of irrigated area.
Lot 3 has 1.10 acres of irrigated area.
Lot 4 has 1.10 acres of irrigated area.
Total of 6.79 acres of irrigated area.

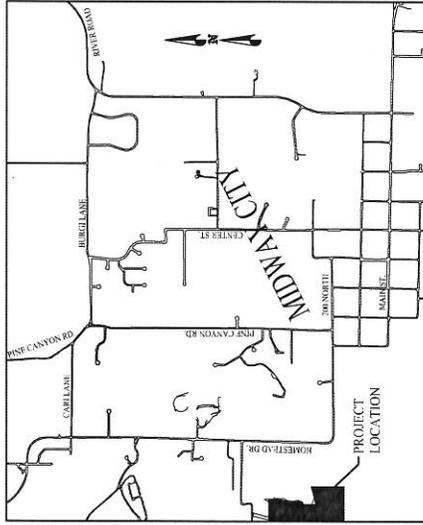
KELSON SUBDIVISION

A RURAL PRESERVATION SUBDIVISION

FINAL APPLICATION

SHEET INDEX

1. SITE PLAN
2. SLOPE MAP
3. KELSON SUBDIVISION PLAT
4. ACCESS DRIVE PLAN & PROFILE
5. UTILITY PLAN
6. WATER CONSTRUCTION DETAILS



VICINITY MAP

THIS DOCUMENT IS RELEASED
 IN FULL TO THE PUBLIC BY THE
 MISSOURI DEPARTMENT OF REVENUE
 PURSUANT TO CHAPTER 110, RSMO.
 PAUL A. BECK, DIRECTOR
 SENATE, NO. 2205002
 DATE: 11/01/2017

JIM KELSON
 KELSON SUBDIVISION

COVER SHEET



DRAWN BY: PWB
 CHECKED BY: JPK
 DATE: 03/28/2017
 SHEET: 0



Scale 1" = 100'
Scale 1" = 200' for 11d17

LAND USE TABLE
TOTAL AREA 20.76 ACRES
NUMBER OF LOTS 4 LOTS
AVERAGE LOT SIZE 5.19 ACRES
(WITH COMMON AREA)
COMMON AREA 8.06 ACRES

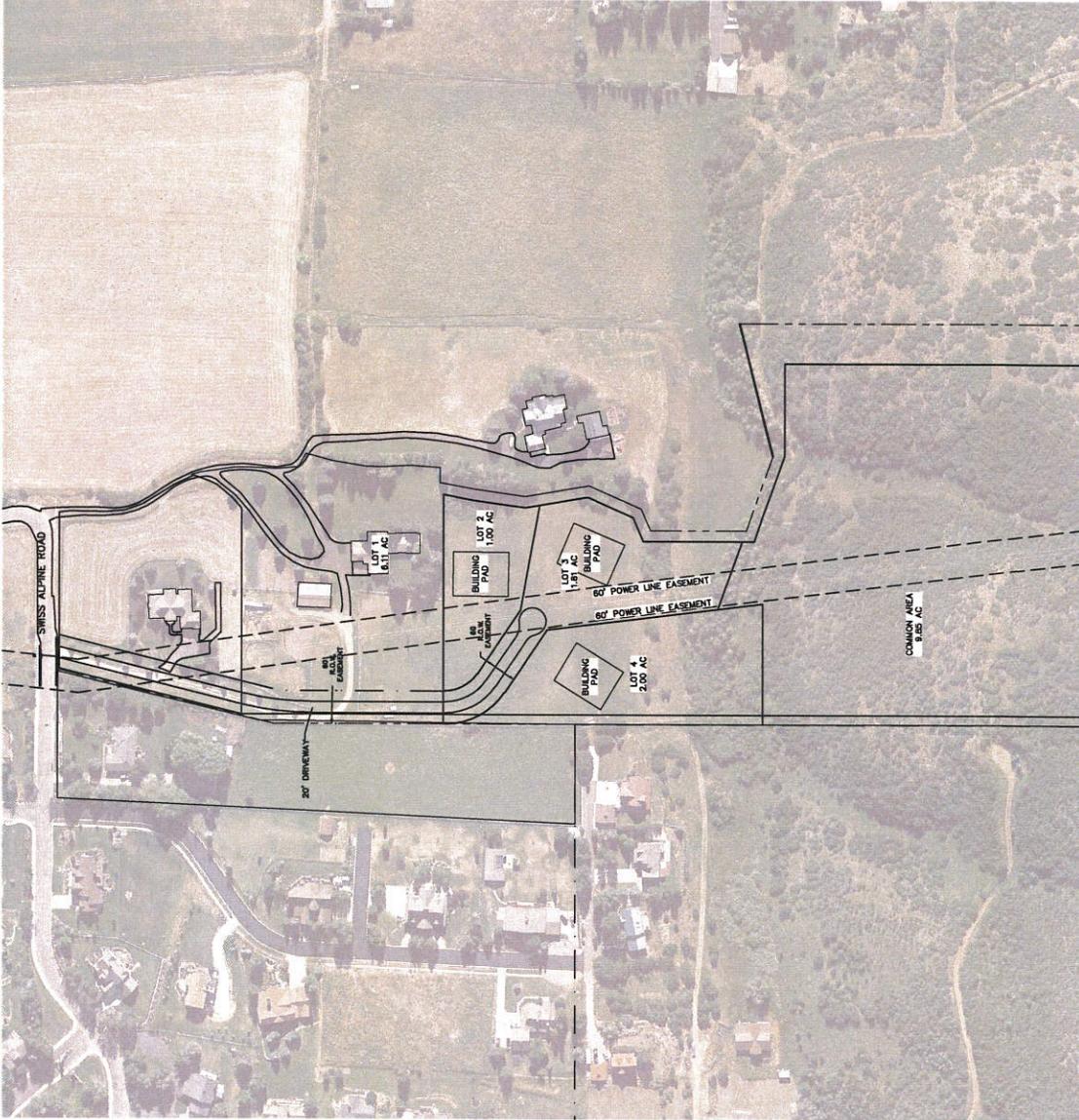
THIS DOCUMENT IS RELEASED
FOR REVIEW ONLY. IT IS NOT
VALID FOR SINKING AND BUILDING
DUAL USE. SEE
DATE: 18 MAY 2017

JIM KILSON
KELSON SUBDIVISION

SITE PLAN



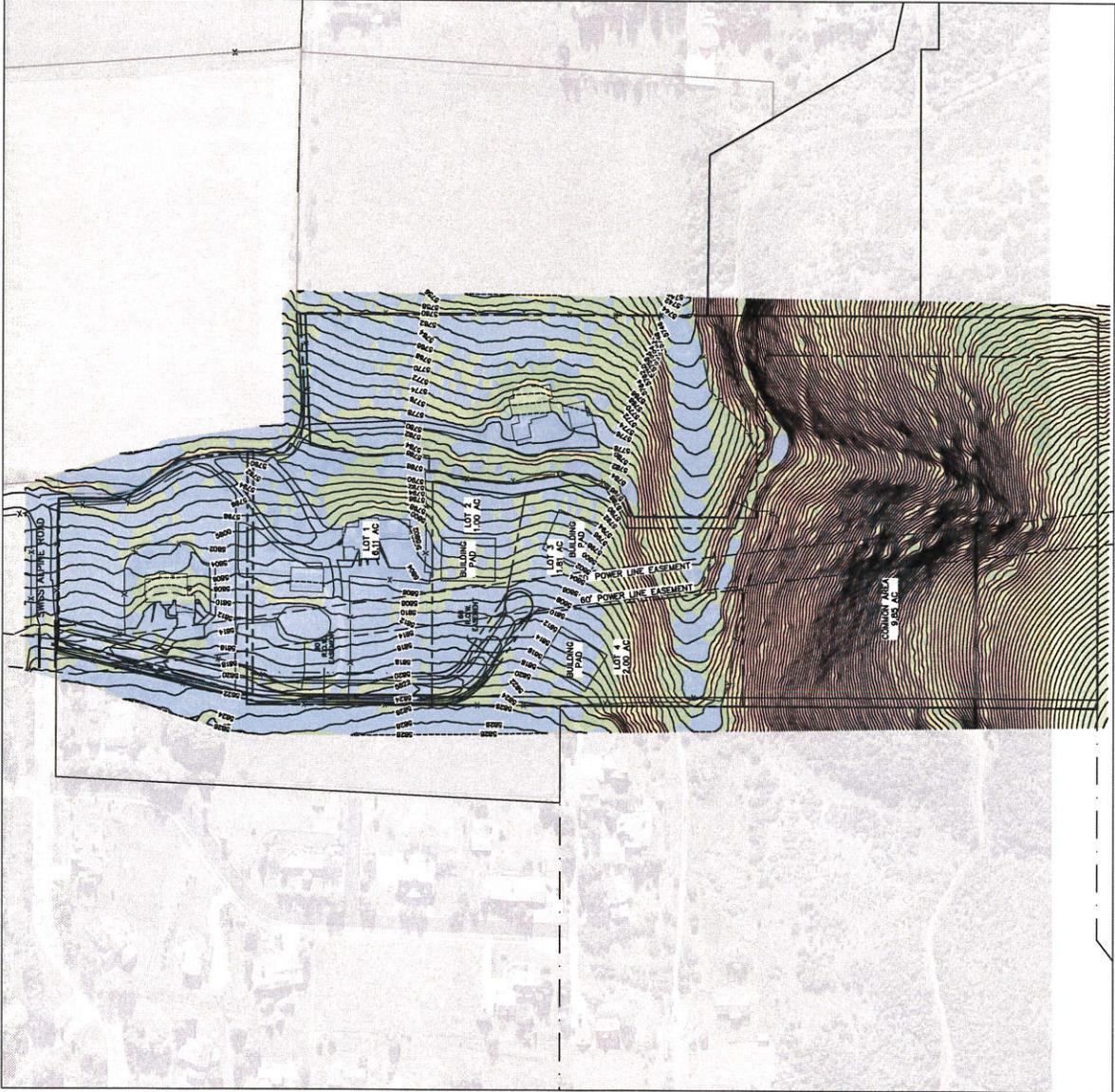
DESIGNED BY DATE: 08/01/2017 SHEET
DRAWN BY REV





Scale 1" = 100'
Scale 1" = 200' for 11.417

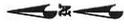
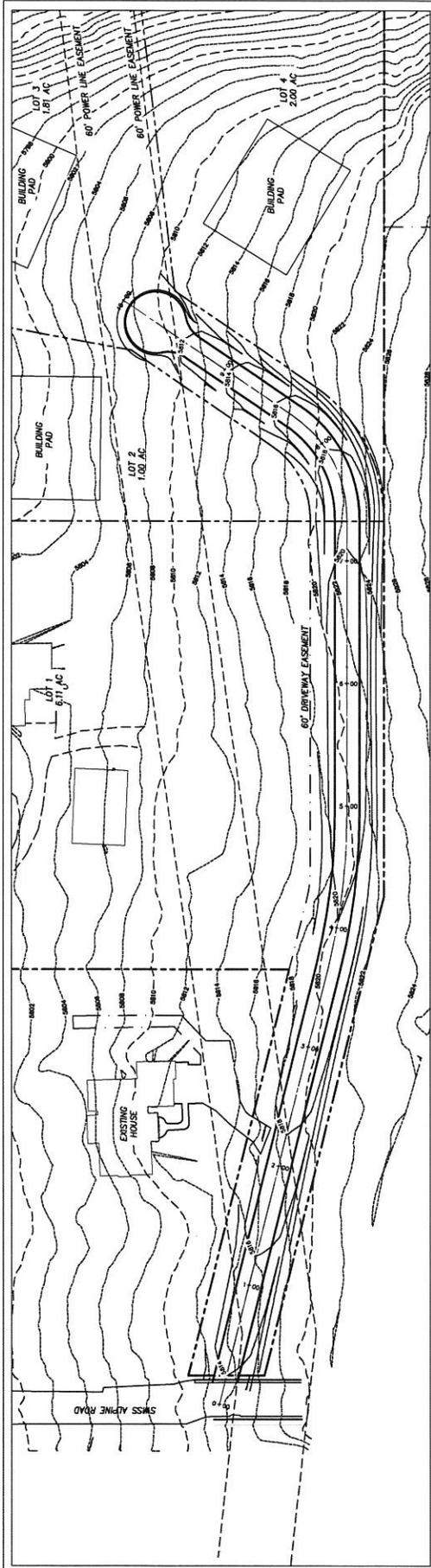
Slopes Legend		
Min. Slope	Max. Slope	Color
0%	10%	Dark Blue
10%	20%	Light Blue
20%	30%	Green
30%	40%	Yellow
40%	50%	Orange
50%	60%	Red
60%	70%	Dark Red
70%	80%	Brown
80%	90%	Dark Brown
90%	100%	Black



JIM KELSON
KELSON PROPERTY
SLOPE MAP

BERG ENGINEERING
Resource Group P.C.
10000 N. 10th Ave., Suite 100
Denver, CO 80231
TEL: 303.751.1111
WWW.BERG-ENG.COM

DATE: 05/20/2011
SHEET: 2



EXISTING UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE. LOCATION CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES. CONTRACTOR SHALL PROTECT ALL UTILITIES. CONTRACTOR SHALL STAKE LOCATIONS AND THESE SHOWN ON THIS PLAN.

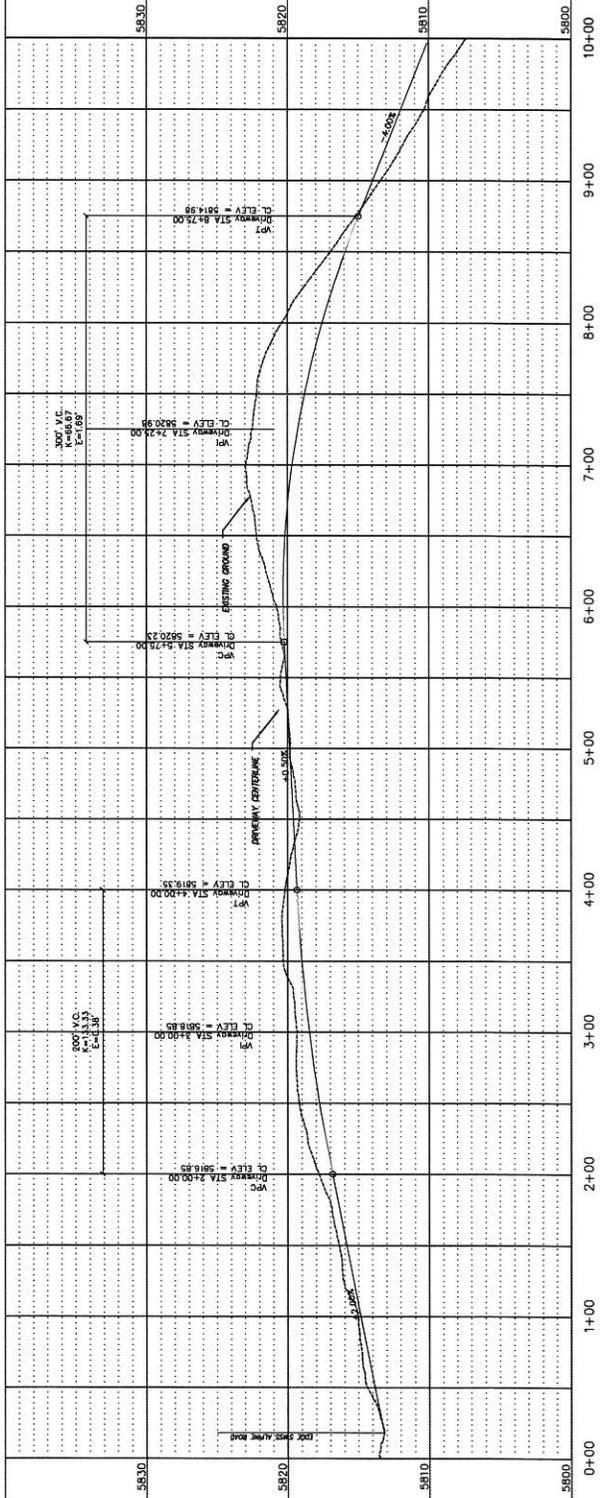
9" ROAD BASE
SUITABLE NATIVE MATERIAL OR A-16 SUBBASE

PRIVATE DRIVEWAY SECTION

JIM KELSON
 KELSON PROPERTY
 ACCESS DRIVE PLAN &
 PROFILE



DRAWN BY: JPK DATE: 11/24/2017 SHEET: 4
 DRAWN BY: JPK REV: 4





Scale 1" = 50'
Scale 1" = 100' for 11/17'

- LEGEND**
- EXSS — EXISTING SEWER
 - EW — EXISTING WATER
 - W — PROPOSED WATER
 - EP — EXISTING PRESSURIZED IRRIGATION
 - PI — PROPOSED PRESSURIZED IRRIGATION

WATER NOTES

- ALL WATER & PRESSURIZED IRRIGATION IMPROVEMENTS SHALL MEET MERRY CITY STANDARDS & SPECIFICATIONS.

SEWER NOTES

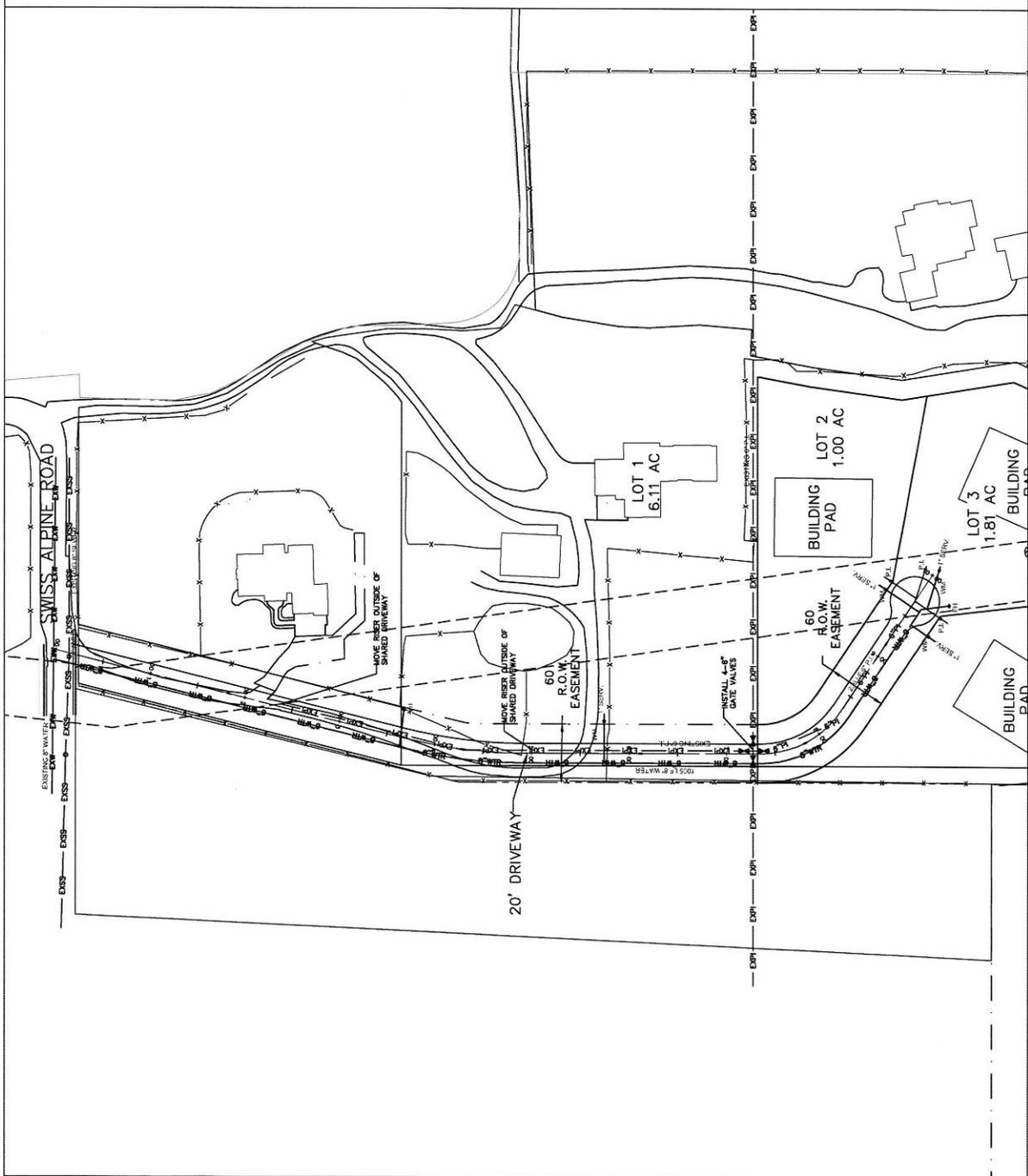
- SEWER TO BE PROVIDED BY INDIVIDUAL SEPTIC SYSTEMS.

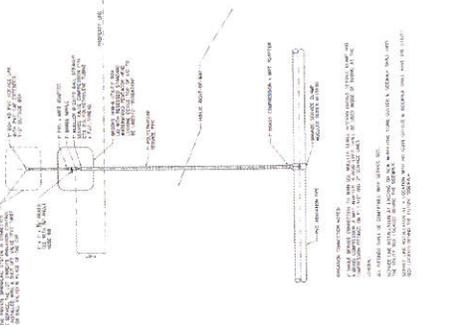
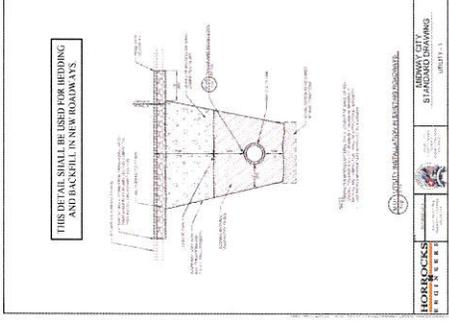
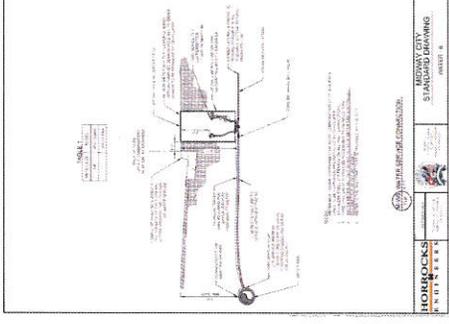
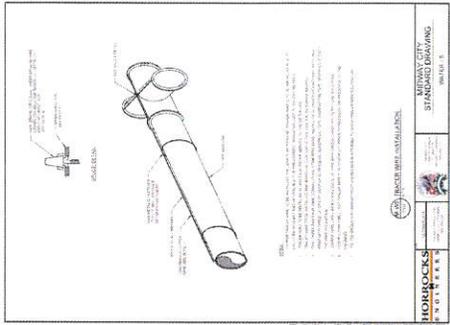
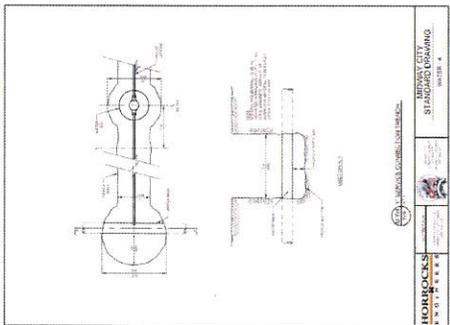
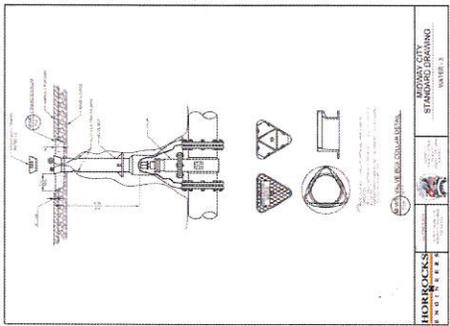
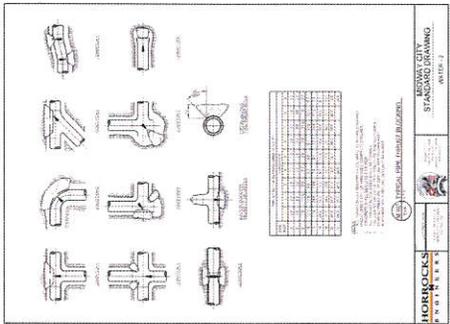
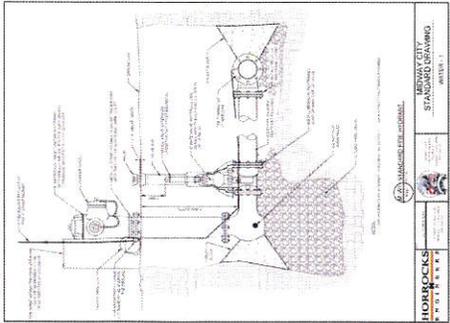
BLUE STAKE NOTE

- LOCATION OF EXISTING UTILITIES SHOWN ON PLAN ARE APPROXIMATE. CONTRACTOR IS RESPONSIBLE FOR BLUE STAKING OF UTILITIES.

THIS DOCUMENT IS RELEASED FOR REVIEW ONLY. IT IS NOT UNLESS SHARED AND RECALLED.
DALLAS, TEXAS
DATE: 18 MAY 2017

JIM KILGUSON	
KELSON SUBDIVISION	
UTILITY PLAN	
BERG ENGINEERING BERG GROUP P.C. 1401 E. MAIN ST. SUITE 200 MCKINNEY, TEXAS 75069 PHONE: 972.562.1100 FAX: 972.562.1101 WWW.BERG-ENG.COM	
DESIGNED BY: JPK	DATE: 18 MAY 2017
DRAWN BY: JPK	REV: 5





JMK/LSM
KELSON SUBDIVISION
WATER
CONSTRUCTION DETAILS

BERG ENGINEERING
 100 E. Main St., Suite 204
 Fort Collins, CO 80501
 PH: 970.225.7979

DATE: MAY 2017
 DRAWN BY: DB
 SHEET: 6

Cascades at Solider Hollow- Phase 2
800 West Swiss Alpine Road

Midway Water Advisory Project Data Sheet

Name of Project: Cascades at Soldier Hollow - Phase 2

Address: 800 West Swiss Alpine Road

Name of Developer: Jura Holdings LLC

Total Acres of Project: 11.54 acres

Total Acres of Irrigated Land: 11.23 acres

No. of Buildings: _____

No. of Residential Units: 18 lots

No. of Hotel Units: _____

No. of Seats in Restaurant: _____

No. of Water Fixtures in Commercial Buildings (attach detail if applicable): _____

Utah Administrative Code R317-502-23/Requirements of the Division of Drinking Water:

Other: _____

Other: _____

No. of Acre Feet needed for inside use: 18 x 0.80 af = 14.40 af

No. of Acre Feet needed for outside use: 18 x 0.50 af per lot = 9.00 af

Total = 14.40 + 9.00 = 23.4 af = 7.8 shares

Extension or Modification of the City Water System:

see attached utility plan

Storage Facilities: _____

Midway Irrigation Company Consent:

a. Storm Water Runoff: onsite retention

b. Piping of Irrigation Ditch (Easements):

none

c. Relocation of Ditches (Easements) none

d. Tail Water Control: not required

Secondary Water System: see attached utility plan

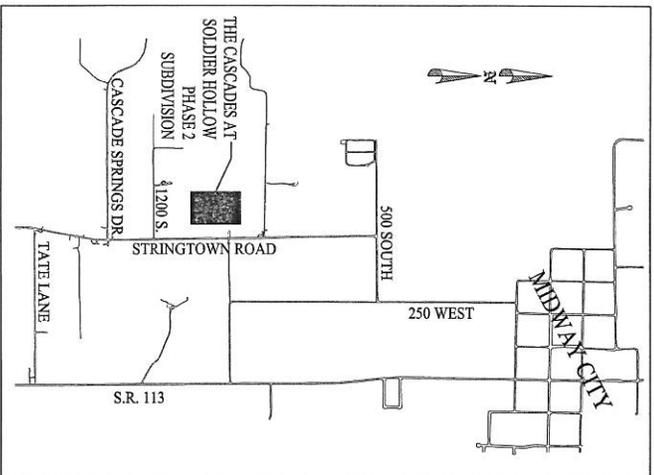
Comments:

18 lots 0.50 acres or less

THE CASCADES AT SOLDIER HOLLOW SUBDIVISION - PHASE 2

FINAL PLAN

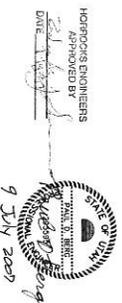
This project was approved in 2007. The approval has expired. The 2007 approved plans are being submitted as the 2017 preliminary plans.



VICINITY MAP

SHEET INDEX

1. LANDSCAPE AND SITE PLAN
2. THE CASCADES AT SOLDIER HOLLOW PHASE 2 - PLAT
3. BOULDER POINT ROAD PLAN & PROFILE
4. RHEINFALLS CIRCLE AND MEADOWBROOK CIRCLE ROAD PLAN & PROFILE
5. BOULDER POINT SEWER PLAN & PROFILE
6. RHEINFALLS CIRCLE AND MEADOWBROOK CIRCLE SEWER PLAN & PROFILE
7. MIDWAY SANITATION DISTRICT STANDARD SEWER CONSTRUCTION DETAILS
8. CULINARY WATER & PRESSURIZED IRRIGATION PLAN
9. MIDWAY CITY CULINARY WATER CONSTRUCTION DETAILS
10. STORM DRAIN PLAN
11. STORM DRAIN LINE A AND C PLANS & PROFILES
12. STORM DRAIN LINE B, D, AND E LINE PLAN & PROFILE
13. STORM DRAIN CONSTRUCTION DETAILS
14. CONSTRUCTION DETAILS



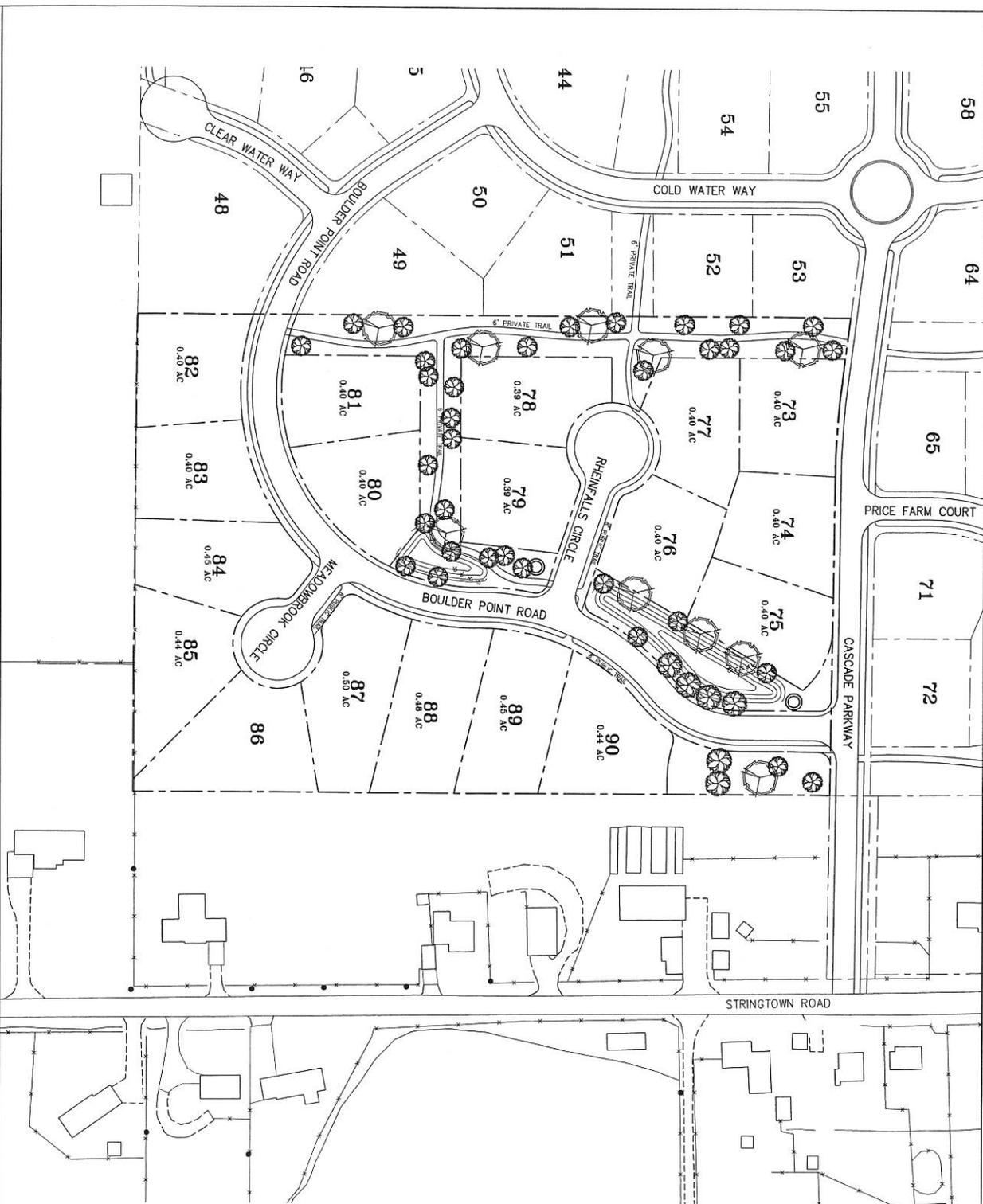
MIDWAY CITY, UT	WASATCH MOUNTAIN DEVELOPMENT, LLC ADDRESS: 1219 N. RANCH CIRCLE, MIDWAY, UT PHONE: (801) 242-7702	COVER SHEET	SOBY & BERG CONSULTANTS 190 E MAIN ST STE B, MIDWAY, UT 84049 PHONE: (435) 657-9749	SCALE: N.T.S.	DESIGN BY: DDB DRAWN BY: SDB	DATE: 09 JUL 2007 REV:	DRAWING NO: COVER	SHEET NO: 0
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MIDWAY, UTAH
 WASATCH MOUNTAIN DEVELOPMENT, LLC
 ADDRESS: 729 W. RANCH CIRCLE, MIDWAY, UT
 PHONE: (435) 242-7702

LANDSCAPE AND SITE PLAN

SOBY & BERG CONSULTANTS
 380 E. MAIN ST., SUITE B, MIDWAY, 84049
 PHONE: (435) 657-9749

SCALE: 1" = 60'
 DESIGN BY: PJB
 DRAWN BY: CNB
 DATE: 09 JUL 2007
 DRAWING NO.: SITE
 SHEET NO.: 1

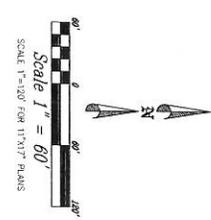


RECOMMENDED PLANT LIST

Common Name	Scientific Name
Rocky Mountain Maple	<i>Acer glabrum</i>
Silver Maple	<i>Acer saccharinum</i>
Flowering Dogwood	<i>Cornus florida</i>
Blue Spruce	<i>Picea pungens</i>
Quaking Aspen	<i>Populus tremuloides</i>
Little Leaf Linden	<i>Tilia cordata</i>
Serviceberry	<i>Amelanchier canadensis</i>
Doylei Burning Bush	<i>Euonymus alatus 'compact'</i>
Flowering Quince	<i>Forsythia x intermedia</i>
Shrubby Dogwood	<i>Paederia fultoni</i>
Acute Bark Willow	<i>Salix purpurea 'nana'</i>
Day Lily	<i>Henricoides spp.</i>
Rose of Sharon	<i>Hibiscus</i>
Yarrow	<i>Achillea</i>
Tickseed	<i>Coleostephus grandiflorus</i>
Arctic Dog	<i>Ostrya virginiana</i>
Black-Eyed Susan	<i>Rudbeckia hirta</i>
Princeton Flower	<i>Scabiosa columbiana</i>
French Lilac	<i>Syringa</i>

LAND USE TABLE

ZONE:	R-1-15
MINIMUM LOT SIZE:	15,000 SF
OPEN SPACE REQUIREMENT:	15%
OPEN SPACE IN PROJECT:	2.00 ACRES (17.47%)
TOTAL AREA:	11.45 ACRES
TOTAL LOTS:	18 LOTS



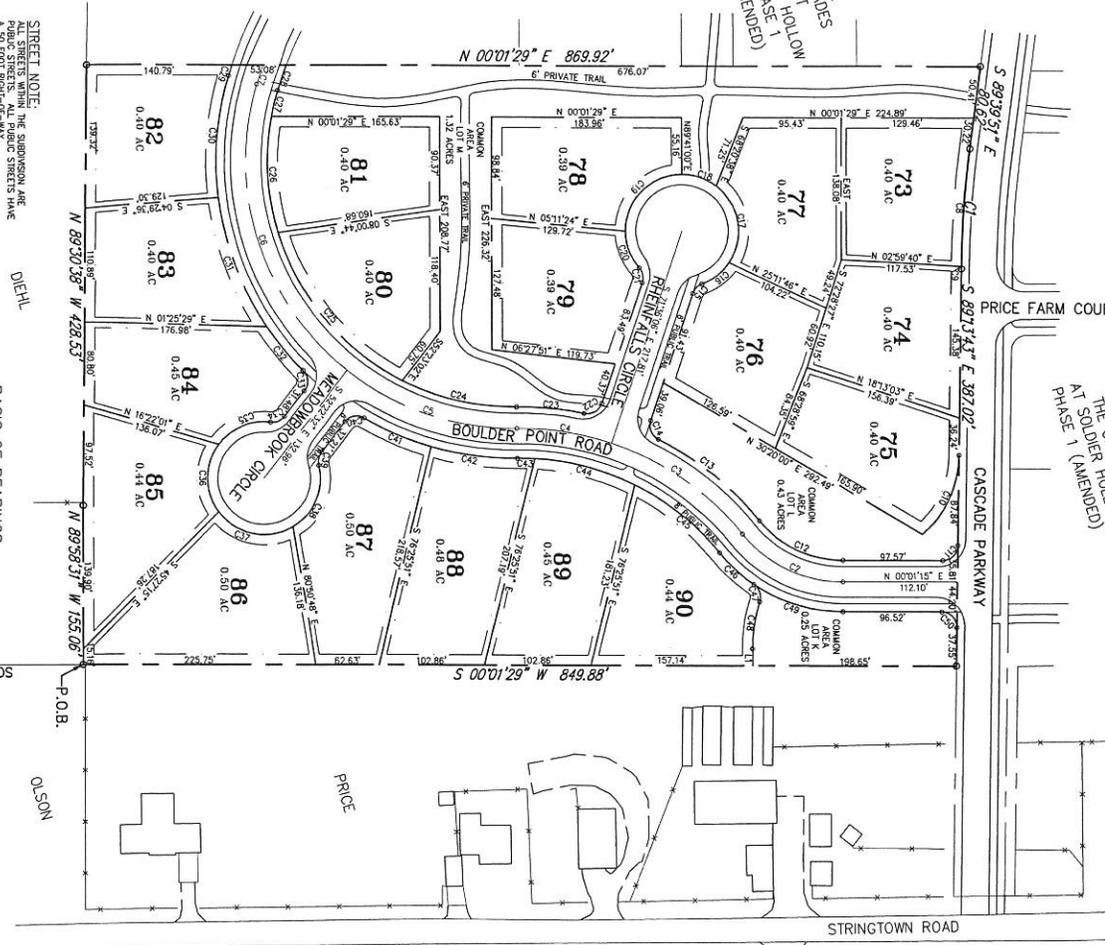
HOBBS ENGINEERS
 APPROVED BY

VICINITY MAP



CURVE TABLE

CURVE	LENGTH	RADIUS	DELTA	CHORD	BEARING
C1	118.97	1021.00'	86.3332°	116.91'	N. 85°56.42' E
C2	118.97	125.00'	51.00819°	107.90'	N. 25°55.25' E
C3	157.24	275.00'	37.24540°	155.11'	N. 34°46.44' E
C4	93.03	275.00'	19.02756°	92.58'	N. 08°42.26' E
C5	178.66	280.00'	39.27207°	175.17'	N. 18°42.00' E
C6	309.51	280.00'	58.17222°	291.56'	N. 27°29.29' E
C7	19.76	358.00'	0.709447°	19.76'	S. 71°49.26' E
C8	114.56	1021.00'	86.25443°	114.50'	S. 85°52.43' E
C9	2.42	1021.00'	0.007808°	2.42'	S. 89°09.39' E
C10	87.60	104.00'	48.17146°	85.04'	S. 85°05.49' E
C11	73.37	15.00'	89.13498°	21.07'	S. 44°51.44' E
C12	92.82	104.00'	51.00819°	89.77'	N. 25°55.25' E
C13	172.23	298.00'	24.37407°	176.25'	N. 37°50.44' E
C14	21.43	15.00'	81.93700°	19.66'	N. 67°29.52' E
C15	13.37	15.00'	51.00319°	12.93'	S. 46°04.27' E
C16	34.26	55.00'	39.40433°	33.70'	S. 54°23.09' E
C17	83.27	55.00'	86.34432°	75.54'	N. 80°24.04' E
C18	35.47	55.00'	36.96447°	34.65'	N. 89°31.74' E
C19	86.81	55.00'	82.28107°	78.00'	S. 45°08.10' E
C20	38.68	55.00'	40.17157°	37.89'	N. 89°29.51' E
C21	15.46	13.00'	89.03101°	14.78'	N. 29°22.53' E
C22	21.82	286.00'	6.72110°	19.95'	S. 29°55.25' E
C23	63.29	286.00'	17.24108°	63.68'	N. 05°23.01' E
C24	104.54	239.00'	48.33340°	103.63'	N. 12°44.14' E
C25	104.54	239.00'	48.33340°	103.63'	N. 82°41.34' E
C26	114.11	239.00'	48.33340°	103.63'	S. 92°31.07' E
C27	25.96	239.00'	6.611293°	25.96'	S. 27°03.51' E
C28	36.17	337.00'	6.425457°	36.16'	S. 27°03.51' E
C29	10.95	387.00'	0.131715°	11.01'	S. 27°25.25' E
C30	119.88	288.00'	23.84607°	119.02'	S. 85°17.20' E
C31	135.19	288.00'	26.54804°	133.96'	N. 86°25.55' E
C32	55.19	288.00'	10.95232°	55.11'	N. 80°31.66' E
C33	21.82	15.00'	82.28107°	14.78'	N. 86°25.11' E
C34	15.46	15.00'	50.00310°	14.78'	S. 27°25.25' E
C35	57.58	55.00'	59.58544°	54.88'	S. 23°18.88' E
C36	70.30	55.00'	73.11409°	65.61'	S. 80°25.30' E
C37	81.31	55.00'	84.42408°	74.10'	N. 11°06.22' E
C38	13.37	15.00'	63.90011°	12.93'	S. 87°20.17' E
C39	13.37	15.00'	63.90011°	12.93'	S. 77°54.12' E
C40	21.82	15.00'	82.28107°	19.75'	S. 11°12.92' E
C41	71.60	289.00'	14.41144°	71.42'	N. 22°51.51' E
C42	84.49	289.00'	16.94501°	84.19'	N. 22°51.51' E
C43	16.71	246.00'	0.25328°	16.70'	N. 00°57.42' E
C44	100.72	246.00'	2.93737°	100.02'	N. 14°28.12' E
C45	106.45	246.00'	2.47737°	105.62'	N. 89°45.46' E
C46	45.57	154.00'	18.59721°	45.41'	N. 42°40.54' E
C47	19.29	15.00'	17.81718°	17.99'	N. 71°02.29' E
C48	46.40	146.00'	18.71313°	46.20'	S. 81°12.44' E
C49	91.88	154.00'	34.17058°	90.52'	N. 79°46.44' E
C50	23.76	15.00'	90.45202°	21.35'	N. 45°23.46' E



STREET NOTE:
ALL STREETS WITHIN THE SUBDIVISION ARE A 50 FOOT RIGHT-OF-WAY.
DIEHL

BAISIS OF BEARINGS:
THE BEARING OF THE SUBDIVISION ARE AS SHOWN ON THE MAP.
SOUTHWEST CORNER SECTION 3 T4S, R4E, S18&M

BAISIS OF BEARINGS:
THE BEARING OF THE SUBDIVISION ARE AS SHOWN ON THE MAP.
SOUTH 1/4 CORNER SECTION 3 T4S, R4E, S18&M

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THE BEARING OF THE SUBDIVISION ARE AS SHOWN ON THE MAP.
SOUTH 1/4 CORNER SECTION 3 T4S, R4E, S18&M

LINE TABLE

LINE	LENGTH	BEARING
L1	16.65'	N. 89°41'00" E

ADDRESS TABLE

LOT	ADDRESS
73	1633 WEST CASCADE PARKWAY
74	535 WEST CASCADE PARKWAY
75	113 WEST RENEWALS CIRCLE
76	159 WEST RENEWALS CIRCLE
77	159 WEST RENEWALS CIRCLE
78	159 WEST RENEWALS CIRCLE
79	159 WEST RENEWALS CIRCLE
80	159 WEST RENEWALS CIRCLE
81	159 WEST RENEWALS CIRCLE
82	159 WEST RENEWALS CIRCLE
83	159 WEST RENEWALS CIRCLE
84	159 WEST RENEWALS CIRCLE
85	159 WEST RENEWALS CIRCLE
86	159 WEST RENEWALS CIRCLE
87	159 WEST RENEWALS CIRCLE
88	159 WEST RENEWALS CIRCLE
89	159 WEST RENEWALS CIRCLE
90	159 WEST RENEWALS CIRCLE

COMMON AREA NOTES:
1. COMMON AREAS ARE SHOWN ON THE MAP AND SHALL BE USED FOR THE BENEFIT OF THE SUBDIVISION.
2. COMMON AREAS ARE SHOWN ON THE MAP AND SHALL BE USED FOR THE BENEFIT OF THE SUBDIVISION.
3. COMMON AREAS ARE SHOWN ON THE MAP AND SHALL BE USED FOR THE BENEFIT OF THE SUBDIVISION.

BUILDING SETBACK REQUIREMENTS:
BUILDING SETBACK REQUIREMENTS IN THE SUBDIVISION ARE AS SHOWN ON THE MAP.
FRONT: 40 FEET
SIDE: 15 FEET
REAR: 30 FEET

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STATE OF UTAH)
COUNTY OF WASHINGTON) SS
I, _____, DAY OF _____, A.D. 20____, PERSONALLY APPEARED, BEFORE ME, _____, A Notary Public in and for the State of Utah, that he/she did execute the same in the capacity indicated.

ACCEPTANCE BY MIDWAY CITY:
THE CITY COMMISSION OF MIDWAY CITY, WASHINGTON COUNTY, STATE OF UTAH, HEREBY APPROVES THIS SUBDIVISION AND ACCEPTS THE DEDICATION OF LOTS, EASEMENTS, STREETS AND PUBLIC RIGHTS-OF-WAY HEREBY SHOWN.

PLANNING COMMISSION APPROVAL:
APPROVED THIS _____ DAY OF _____, A.D. 20____, BY THE _____ CITY ENGINEER, _____ CITY PLANNING COMMISSION.

THE CASCADES AT SOLDIER HOLLOW SUBDIVISION PHASE 2

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STATE OF UTAH)
COUNTY OF WASHINGTON) SS
I, _____, DAY OF _____, A.D. 20____, PERSONALLY APPEARED, BEFORE ME, _____, A Notary Public in and for the State of Utah, that he/she did execute the same in the capacity indicated.

ACCEPTANCE BY MIDWAY CITY:
THE CITY COMMISSION OF MIDWAY CITY, WASHINGTON COUNTY, STATE OF UTAH, HEREBY APPROVES THIS SUBDIVISION AND ACCEPTS THE DEDICATION OF LOTS, EASEMENTS, STREETS AND PUBLIC RIGHTS-OF-WAY HEREBY SHOWN.

PLANNING COMMISSION APPROVAL:
APPROVED THIS _____ DAY OF _____, A.D. 20____, BY THE _____ CITY ENGINEER, _____ CITY PLANNING COMMISSION.

THE CASCADES AT SOLDIER HOLLOW SUBDIVISION PHASE 2

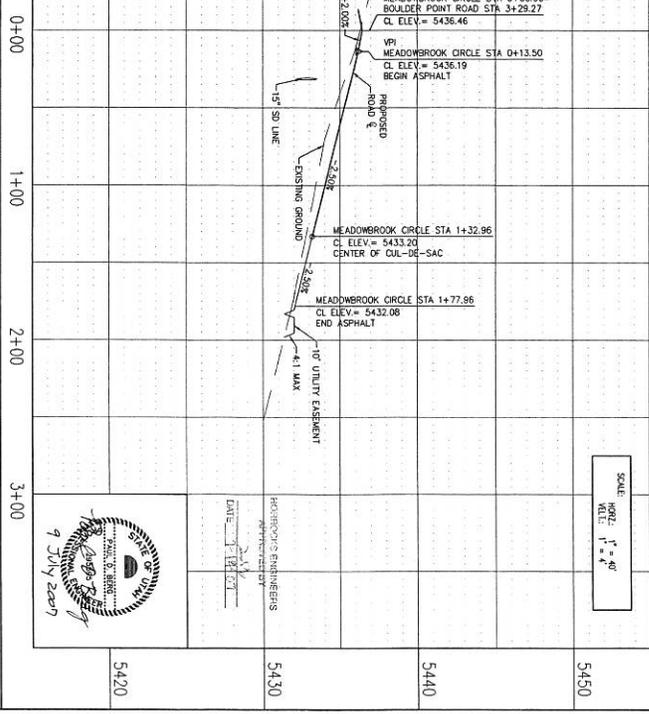
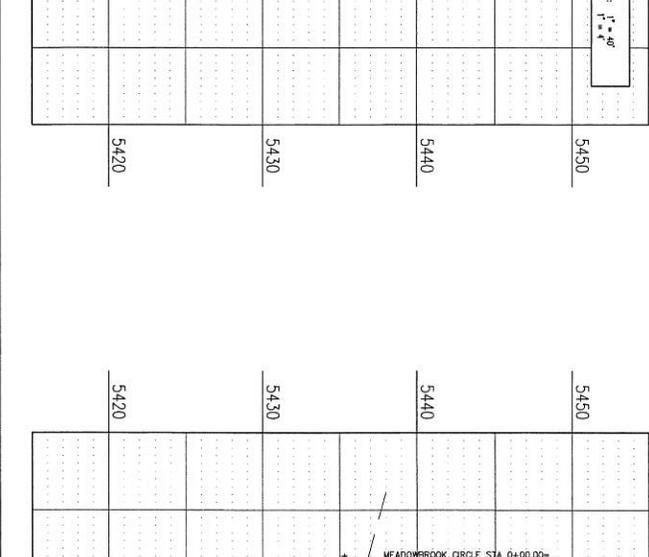
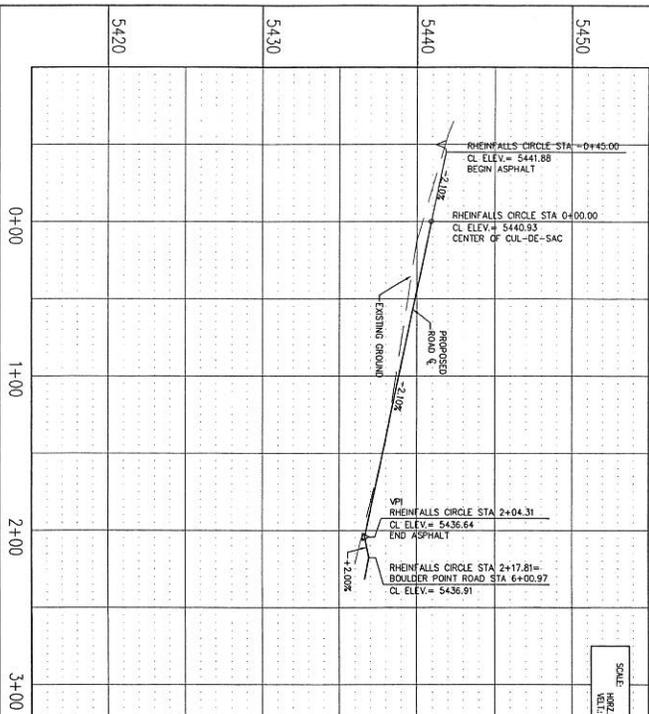
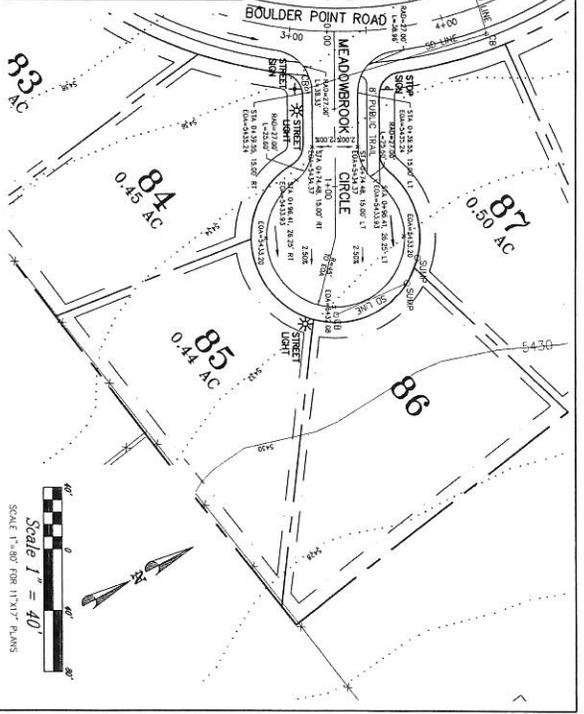
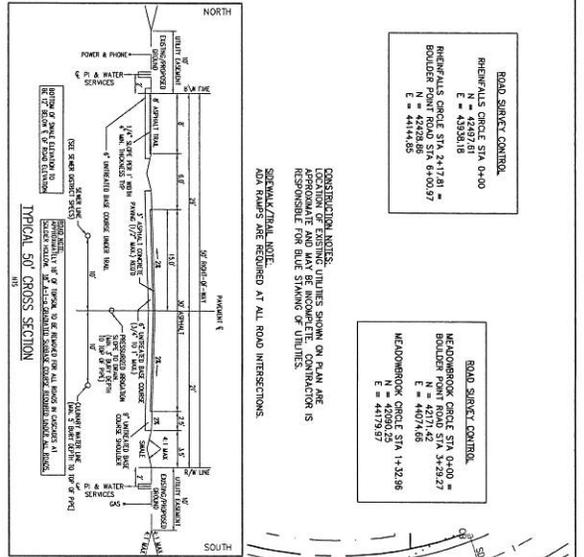
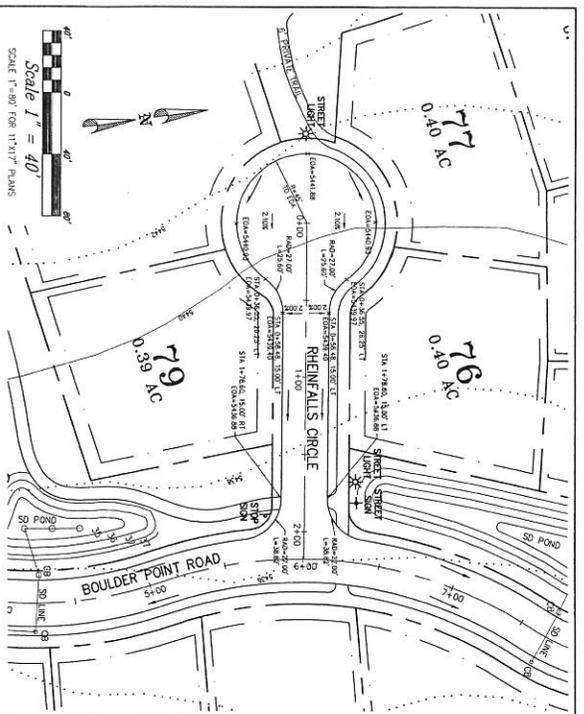
OWNER'S DEDICATION:
KNOW ALL MEN BY THESE PRESENTS THAT THE UNDERSIGNED OWNER(S) OF THE PROPERTY DESCRIBED HEREON, HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, PUBLIC STREETS, AND EASEMENTS AND HEREBY DEDICATE THOSE AREAS LABELED AS PUBLIC STREETS AND EASEMENTS FOR THE CONSTRUCTION AND MAINTENANCE OF PUBLIC UTILITIES AND EMERGENCY VEHICLE ACCESS.

ACKNOWLEDGMENT:
STATE OF UTAH)
COUNTY OF WASHINGTON) SS
I, _____, DAY OF _____, A.D. 20____, PERSONALLY APPEARED, BEFORE ME, _____, A Notary Public in and for the State of Utah, that he/she did execute the same in the capacity indicated.

ACCEPTANCE BY MIDWAY CITY:
THE CITY COMMISSION OF MIDWAY CITY, WASHINGTON COUNTY, STATE OF UTAH, HEREBY APPROVES THIS SUBDIVISION AND ACCEPTS THE DEDICATION OF LOTS, EASEMENTS, STREETS AND PUBLIC RIGHTS-OF-WAY HEREBY SHOWN.

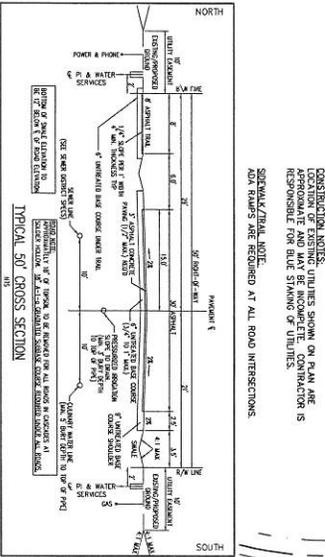
PLANNING COMMISSION APPROVAL:
APPROVED THIS _____ DAY OF _____, A.D. 20____, BY THE _____ CITY ENGINEER, _____ CITY PLANNING COMMISSION.

THE CASCADES AT SOLDIER H



ROAD SURVEY CONTROL
 RHEINFALLS CIRCLE STA 0+00 =
 E = 4338.18
 N = 4414.85
 RHEINFALLS CIRCLE STA 2+17.81 =
 E = 4338.18
 N = 4414.85
 BOULDER POINT ROAD STA 6+00.97
 E = 4444.85
 N = 4414.85

ROAD SURVEY CONTROL
 MEADOWBROOK CIRCLE STA 0+00 =
 E = 4338.18
 N = 4414.85
 MEADOWBROOK CIRCLE STA 1+32.96 =
 E = 4407.68
 N = 4414.85
 BOULDER POINT ROAD STA 3+29.27
 E = 4407.68
 N = 4414.85



MIDWAY, UTAH
 W. SATCHEL MOUNTAIN DEVELOPMENT, LLC
 ADDRESS: 1219 N. RANCH CIRCLE, MIDWAY, UT
 PHONE: (612) 342-7012

RHEINFALLS CIRCLE AND MEADOWBROOK CIRCLE ROAD PLAN & PROFILE

SOBY & BERG CONSULTANTS
 380 E. MAIN ST. STE. B, MIDWAY, UT 84049
 PHONE: (435) 857-9143

SCALE: DESIGN BY: PUB
 DRAWN BY: SDB
 DATE: 09 JUL 2007
 REV:

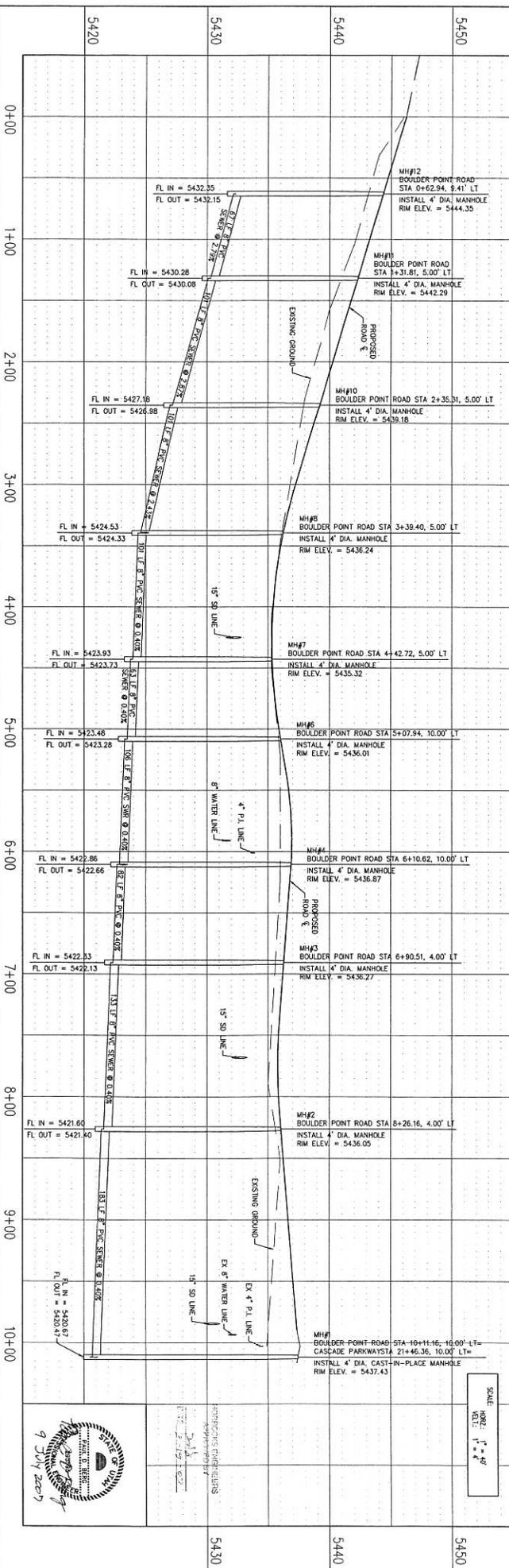
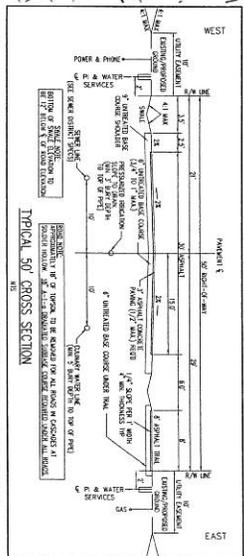
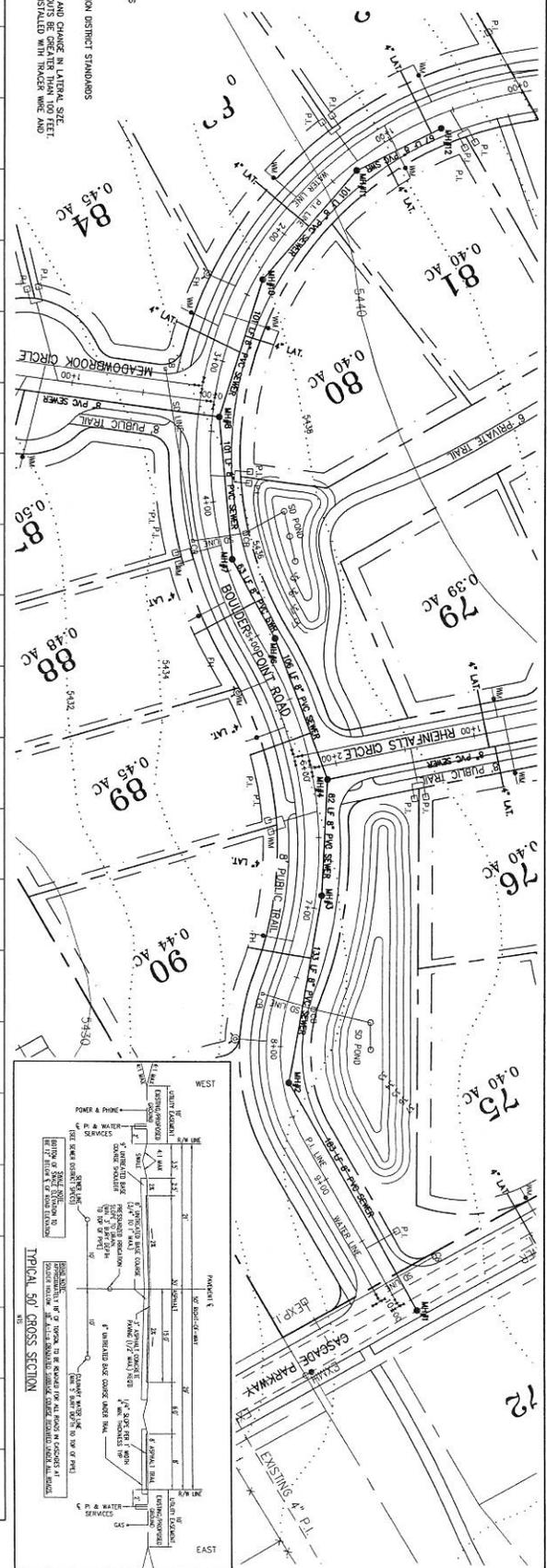
DYNAMIC NO. SHEET NO.
 STRBERTZ 4





ROAD SURVEY CONTROL
 BOULDER POINT ROAD STA 0+00 =
 CASCADE MEADOWS DRIVE STA 3+82.34
 E = 43777.84
 CASCADE PARKWAY STA 21+56.46
 N = 42786.88
 E = 46251.93

CONSTRUCTION NOTES:
 1. ALL SEWER CONSTRUCTION SHALL BE TO MIDWAY SANITATION DISTRICT STANDARDS.
 2. ALL STREET CEMENTS SHALL HAVE METAL LIDS.
 3. ALL STREET CEMENTS SHALL BE INSTALLED AT EVERY BRUSH AND CHANGE IN LATERAL SIZE.
 4. ALL STREET CEMENTS SHALL BE INSTALLED WITH TRACER WIRE AND TAPE.
 5. ALL STREET MAIN LINES AND LATERALS SHALL BE INSTALLED WITH TRACER WIRE AND TAPE.
 6. APPROXIMATE AND MAY BE INCOMPLETE. CONTRACTOR IS RESPONSIBLE FOR BOLD STRIKING OF UTILITIES.
 7. SANITARY SEWER SYSTEM NOTES:
 - ALL SEWER CONSTRUCTION SHALL BE TO MIDWAY SANITATION DISTRICT STANDARDS.
 - ALL STREET CEMENTS SHALL HAVE METAL LIDS.
 - ALL STREET CEMENTS SHALL BE INSTALLED AT EVERY BRUSH AND CHANGE IN LATERAL SIZE.
 - ALL STREET CEMENTS SHALL BE INSTALLED WITH TRACER WIRE AND TAPE.
 - ALL STREET MAIN LINES AND LATERALS SHALL BE INSTALLED WITH TRACER WIRE AND TAPE.



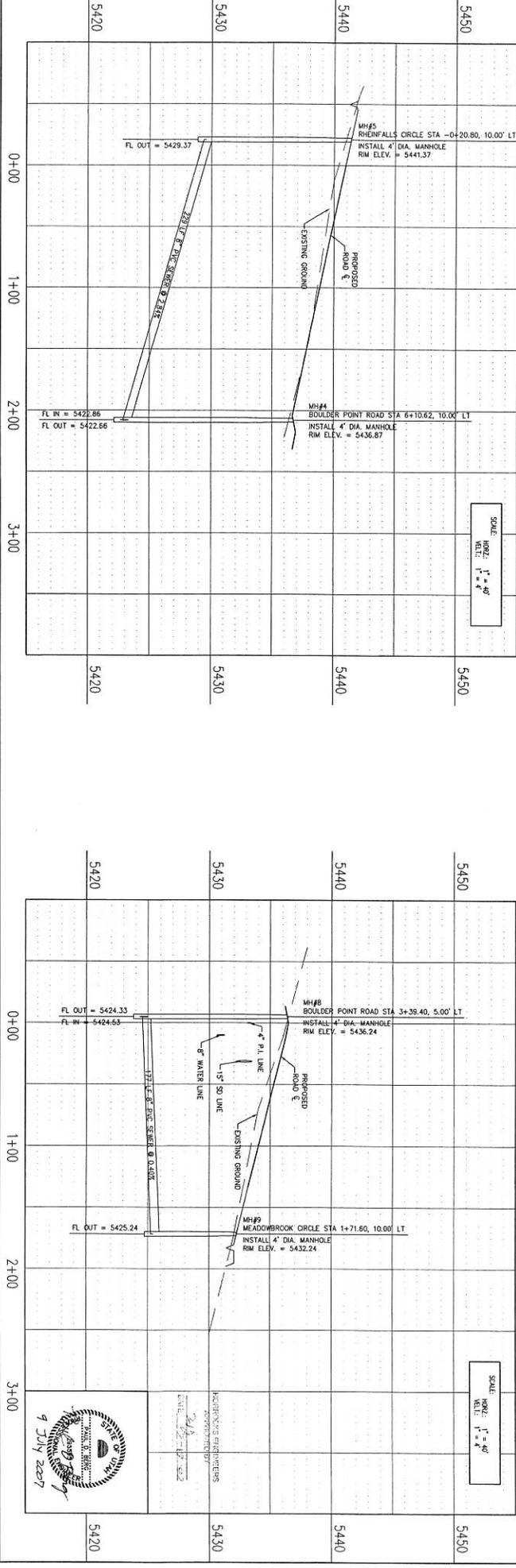
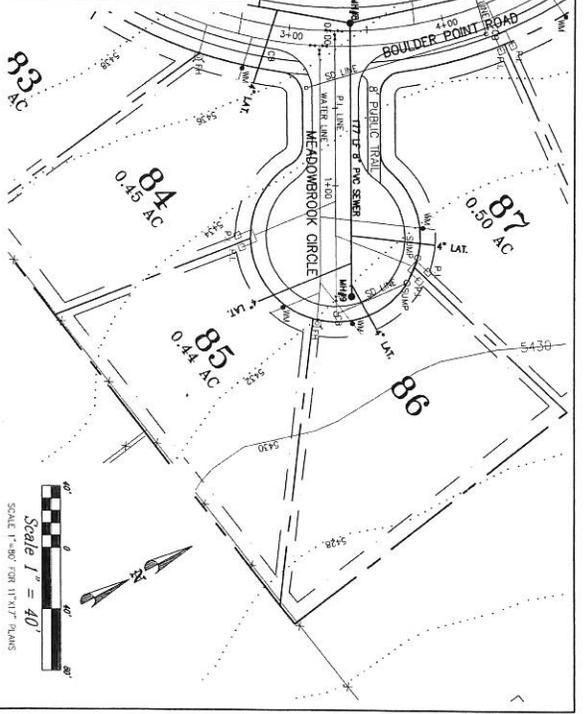
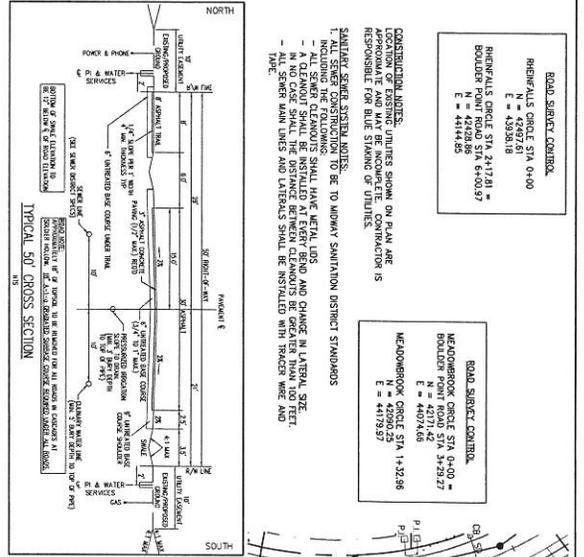
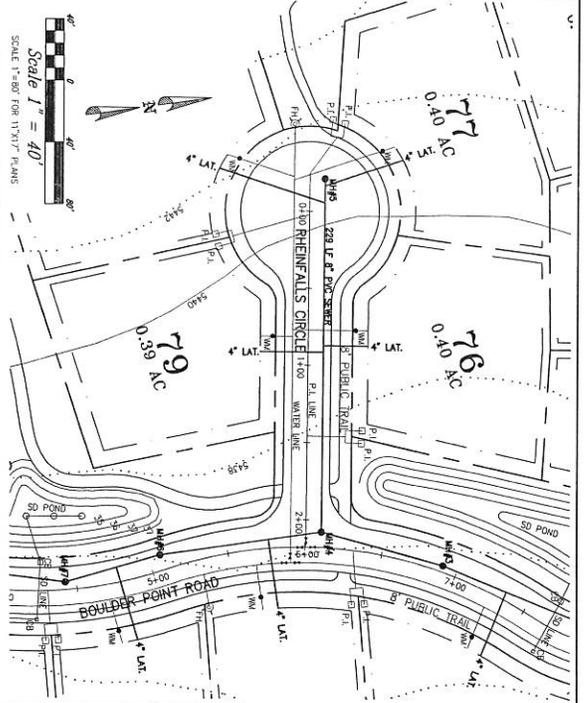
MIDWAY, UTAH
 W/SATCH MOUNTAIN DEVELOPMENT, LLC
 ADDRESS: 1819 N RANCHO CIRCLE, MIDWAY, UT
 PHONE: (612) 242-7702

BOULDER POINT SEWER PLAN & PROFILE

SCALE: 1" = 40'
 DESIGN BY: PDS
 DRAWN BY: SDB
 DATES: 09 JUL 2007
 SHEET NO: 5

SONBY & BERG CONSULTANTS
 380 E MAIN ST STE B, MIDWAY, UT 84044
 PHONE: (435) 657-9749





MIDWAY, UTAH

WASATCH MOUNTAIN DEVELOPMENT, LLC
 ADDRESS: 219 N RANCH CIRCLE, MIDWAY, UT
 PHONE: (679) 242-7902

RHENIFALLS CIRCLE AND MEADOWBROOK CIRCLE SEWER PLAN & PROFILE

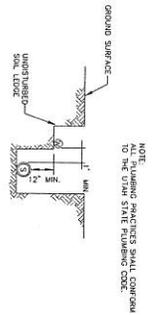
SOBY & BERG CONSULTANTS
 380 E MAIN ST STE B, MIDWAY, UT 84049
 PHONE: (435) 657-9749

SCALE: DESIGN BY: PDB
 DRAWN BY: SOB

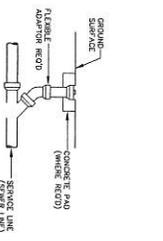
DATE: 09 JUL 2007
 REV:

DRAWING NO: SEWER2
 SHEET NO: 6

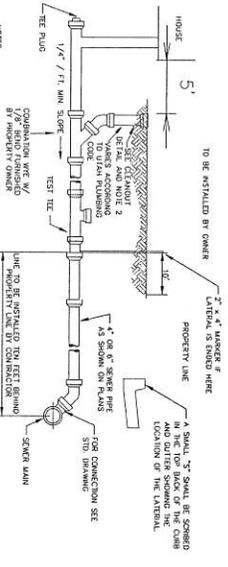




SEWER AND WATER LATERALS IN COMMON TRENCH
N.T.S.

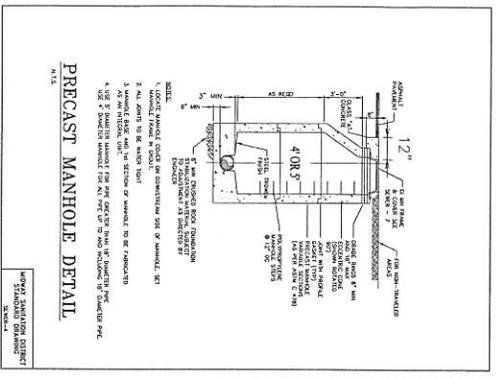


CLEANOUT DETAIL
N.T.S.



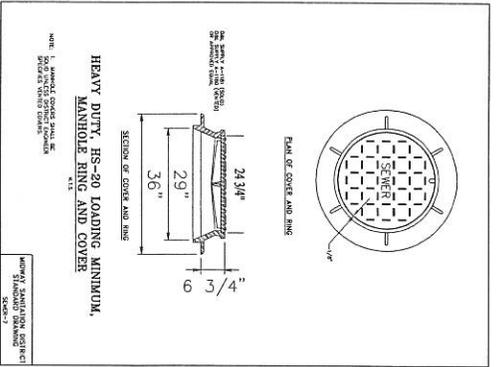
TYPICAL SEWER SERVICE CONN.
N.T.S.

MIDWAY SANITATION DISTRICT
STANDARD DRAWING
SEWER-1



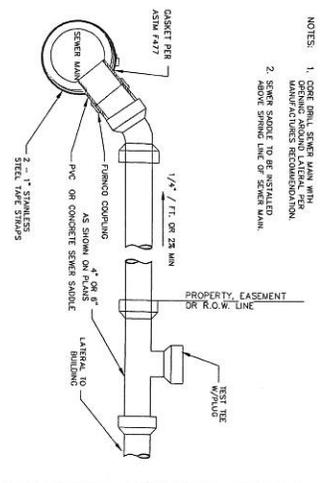
PRECAST MANHOLE DETAIL
N.T.S.

MIDWAY SANITATION DISTRICT
STANDARD DRAWING
SEWER-2

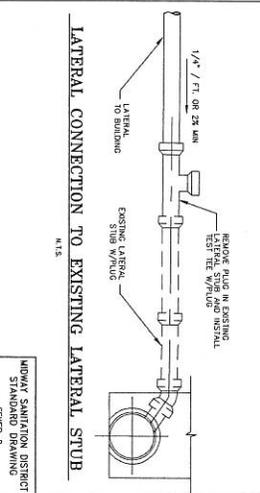


HEAVY DUTY, HS-20 LOADING MINIMUM, MANHOLE RING AND COVER
N.T.S.

MIDWAY SANITATION DISTRICT
STANDARD DRAWING
SEWER-3

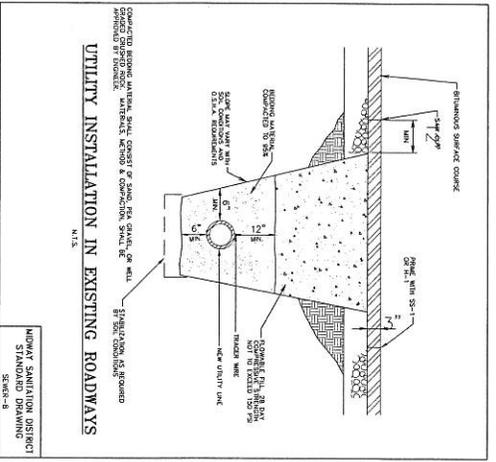


LATERAL CONNECTION TO EXISTING SEWER LINE
N.T.S.



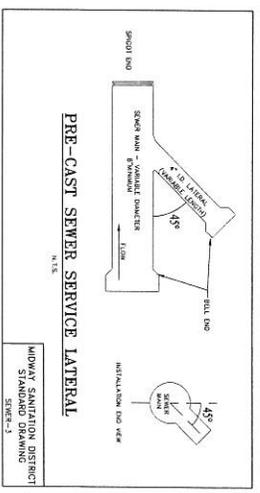
LATERAL CONNECTION TO EXISTING LATERAL STUB
N.T.S.

MIDWAY SANITATION DISTRICT
STANDARD DRAWING
SEWER-2



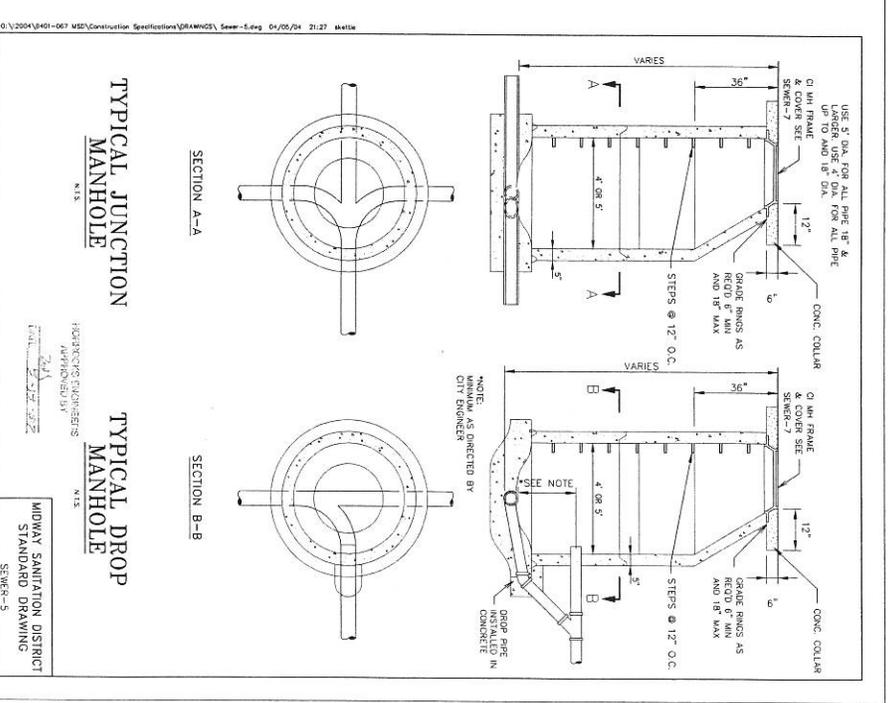
UTILITY INSTALLATION IN EXISTING ROADWAYS
N.T.S.

MIDWAY SANITATION DISTRICT
STANDARD DRAWING
SEWER-8



PRE-CAST SEWER SERVICE LATERAL
N.T.S.

MIDWAY SANITATION DISTRICT
STANDARD DRAWING
SEWER-3



TYPICAL JUNCTION MANHOLE
N.T.S.

TYPICAL DROP MANHOLE
N.T.S.

MIDWAY SANITATION DISTRICT
STANDARD DRAWING
SEWER-5

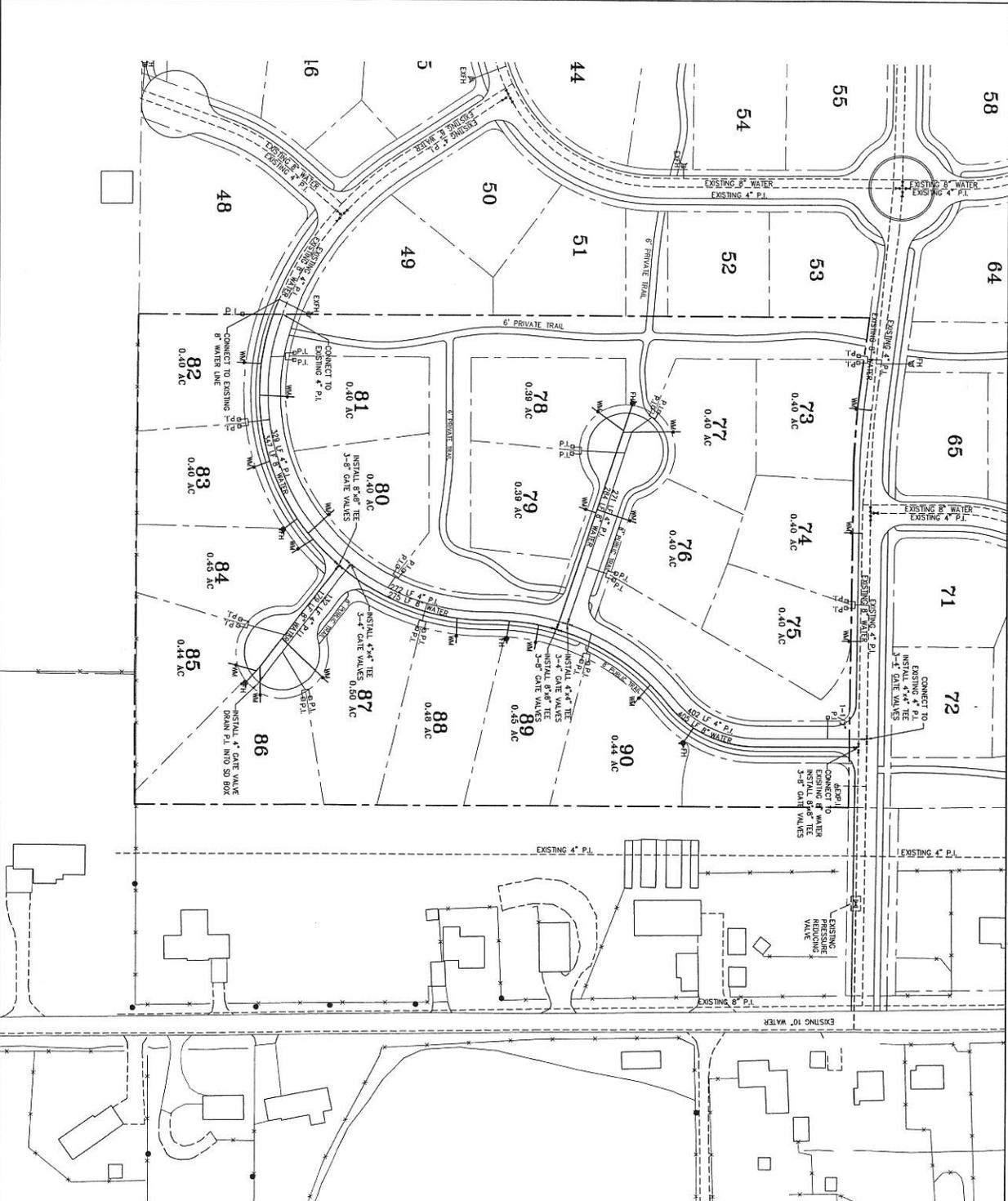
MIDWAY, UTAH

WASATCH MOUNTAIN DEVELOPMENT, LLC
 ADDRESS: 1216 N. RANCH CIRCLE, MIDWAY, UT
 PHONE: (435) 242-7702

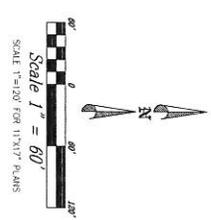
CULINARY WATER & PRESSURIZED IRRIGATION PLAN

SONDY & BING CONSULTANTS
 380 E MAIN ST STE B, MIDWAY, UT 84044
 PHONE: (435) 857-9749

SCALE: DESIGN BY: PDB DATE: 09 JUL 2007 DRAWING NO. SHEET NO.
 1" = 60' DRAWN BY: CHB REV. WATER 8

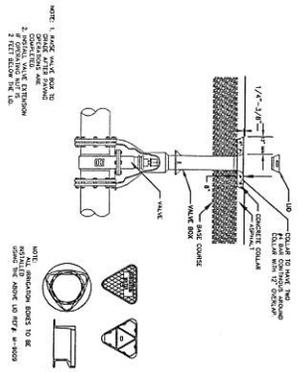


- CULINARY WATER SYSTEM NOTES:**
1. ALL CULINARY WATER CONSTRUCTION TO MEET MIDWAY CITY STANDARDS AS ADOPTED IN JUNE 2006 EDITION.
 2. ALL CULINARY WATER LINES SHALL BE CONSTRUCTED WITH AWWA C-900 DR-18 PIPE.
 3. ALL CULINARY WATER VALVES SHOWN ON THIS PLAN SHALL BE GATE VALVES.
 4. ALL LOTS SHALL HAVE A 1" WATER SERVICE WITH A 3/4" METER.
- PRESSURIZED IRRIGATION SYSTEM NOTES:**
1. ALL PRESSURIZED IRRIGATION CONSTRUCTION TO MEET MIDWAY IRRIGATION COMPANY STANDARDS.
 2. ALL PIPE SHALL BE RIGID PVC C-900 CLASS OR EQUIVALENT.
 3. ALL PRESSURIZED SERVICE IS TO BE PERMITTED TO EACH LOT. ADJACENT LOTS MAY SHARE A 1-1/2" SERVICE THAT IS SPLIT INTO TWO 1" SERVICES AT THE PROPERTY LINE.
- CONSTRUCTION NOTES:**
1. LOCATION OF EXISTING UTILITIES SHOWN ON PLAN ARE BLUE STAKING OF UTILITIES.
 2. CONTRACTOR IS RESPONSIBLE FOR COMPLETE CONSTRUCTION.



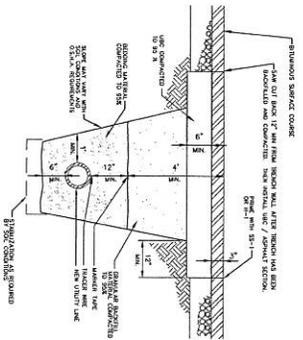
HORROCKS ENGINEERS
 APPROVED BY
 DATE: 7/11/07





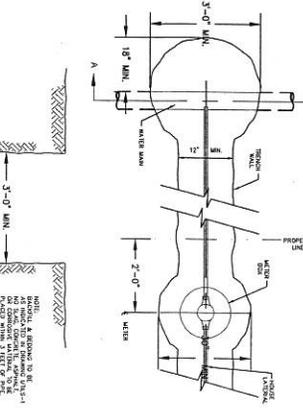
VALVE BOX COLLAR DETAIL
N.T.S.

June 2006
MIDWAY CITY
STANDARD DRAWING
MIDW-3



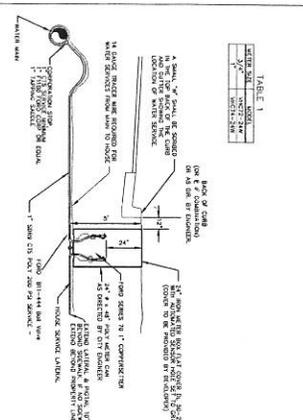
UTILITY INSTALLATION IN ROADWAYS
N.T.S.

June 2006
MIDWAY CITY
STANDARD DRAWING
MIDW-1



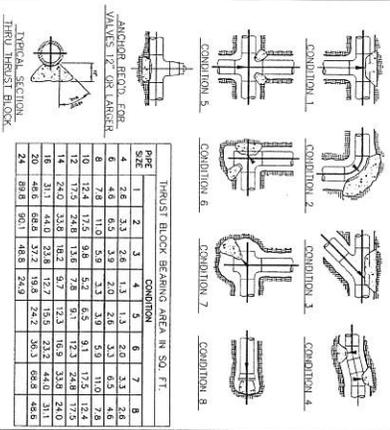
1" SERVICE CONNECTION TRENCH
N.T.S.

June 2006
MIDWAY CITY
STANDARD DRAWING
MIDW-4



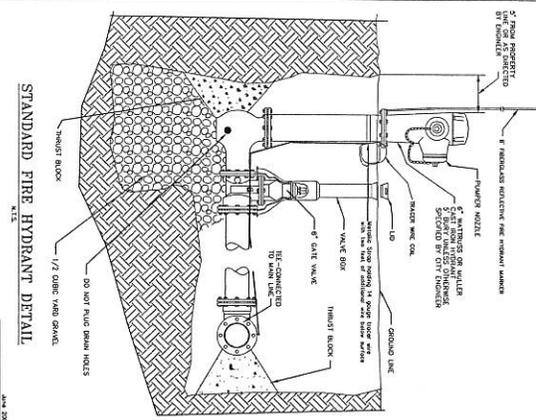
WATER SERVICE CONNECTION
N.T.S.

June 2006
MIDWAY CITY
STANDARD DRAWING
MIDW-5



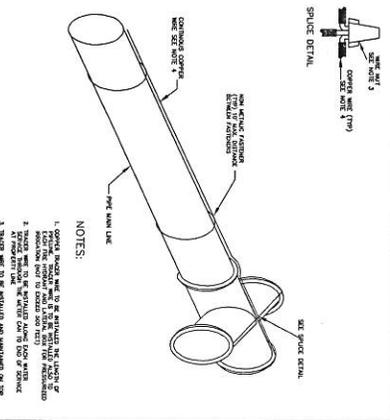
- NOTES:
1. ALL THRUST BLOCK BEARING FACTS SHALL BE PROVIDED AGAINST MINIMUM 12" OF CONCRETE.
 2. CONCRETE SHALL BE CLASS 6.0-8-3000.
 3. ALL THRUST BLOCK SIZES SHALL BE FORGED.
 4. CALCULATED ON 205 LB PER SQUARE FOOT ALLOWABLE BEARING PRESSURE OF 2000 P.S.F.
 5. IN POORER SOILS SPECIAL DESIGN IS REQUIRED.

June 2006
MIDWAY CITY
STANDARD DRAWING
MIDW-2



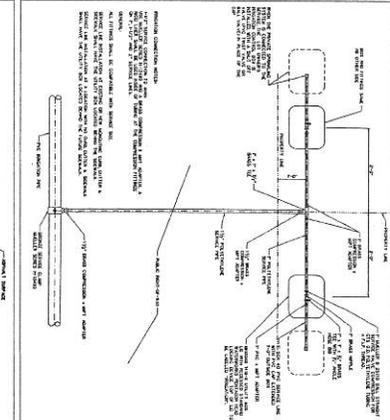
STANDARD FIRE HYDRANT DETAIL
N.T.S.

June 2006
MIDWAY CITY
STANDARD DRAWING
MIDW-3



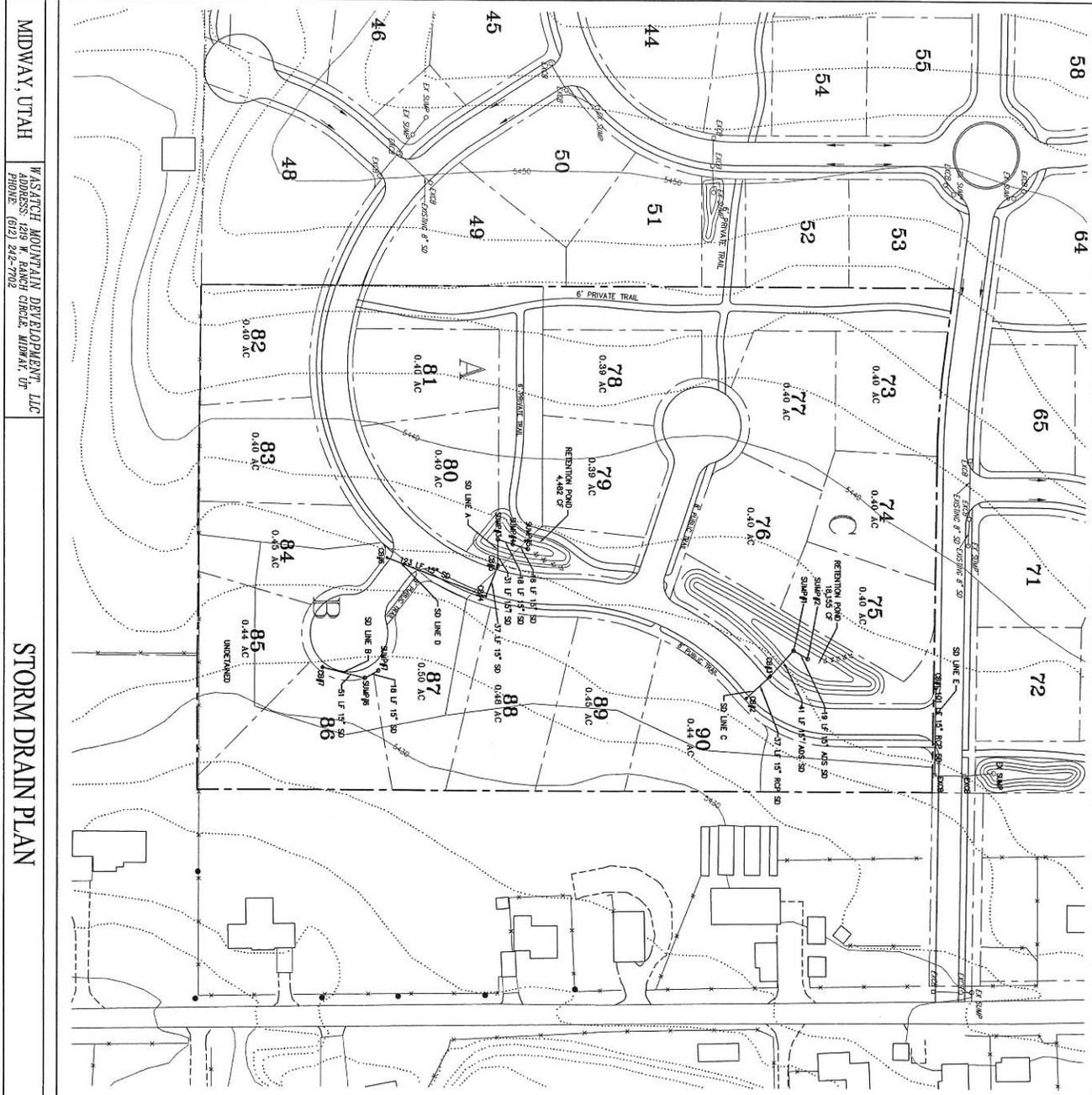
TRACER WIRE INSTALLATION
N.T.S.

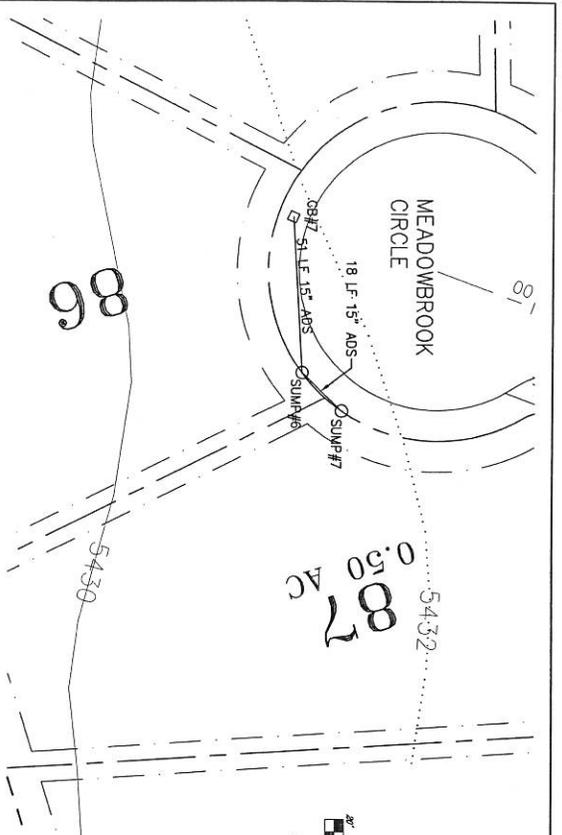
June 2006
MIDWAY CITY
STANDARD DRAWING
MIDW-5



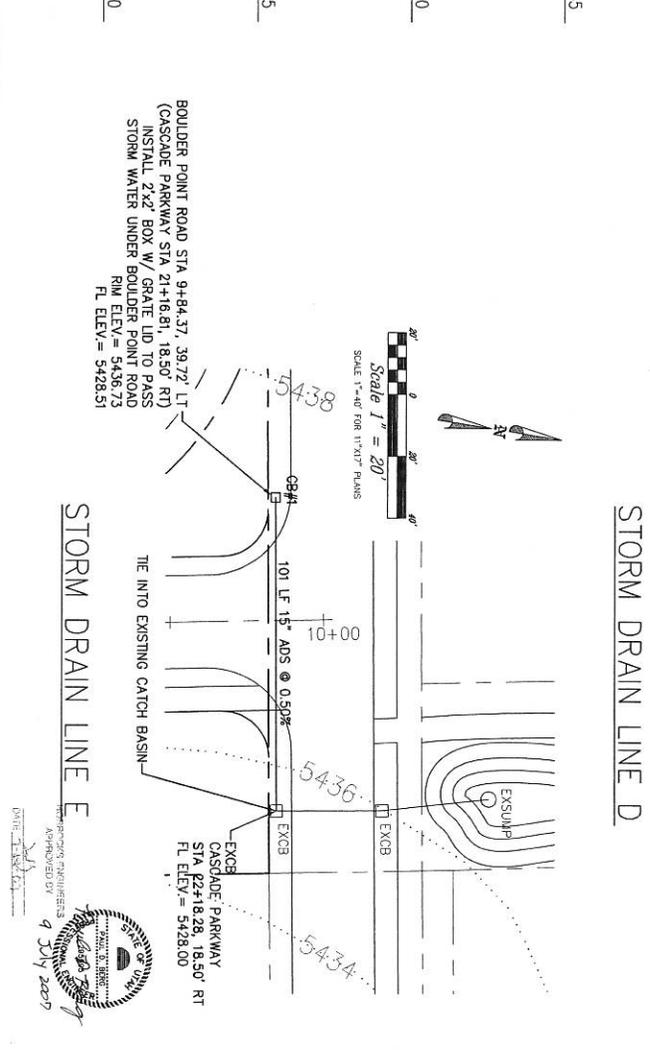
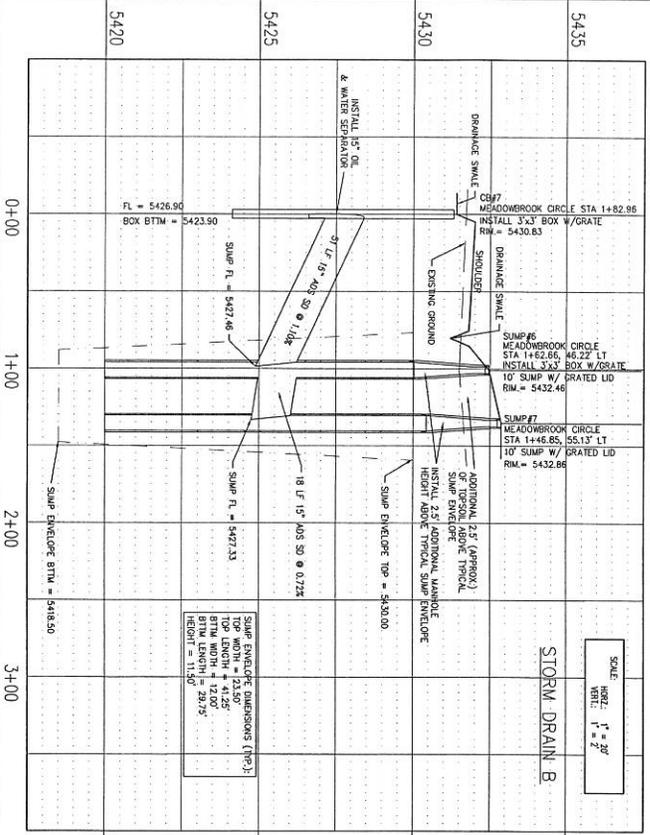
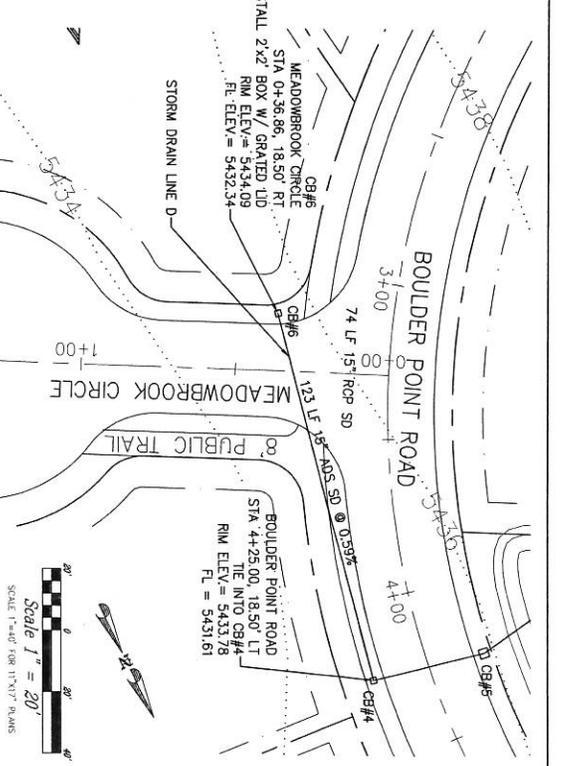
WATER SERVICE CONNECTION
N.T.S.

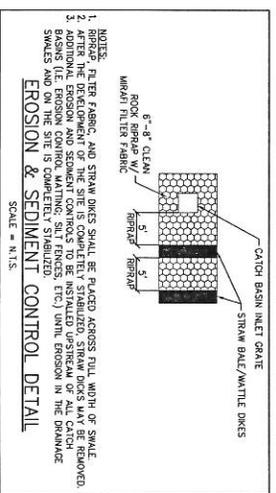
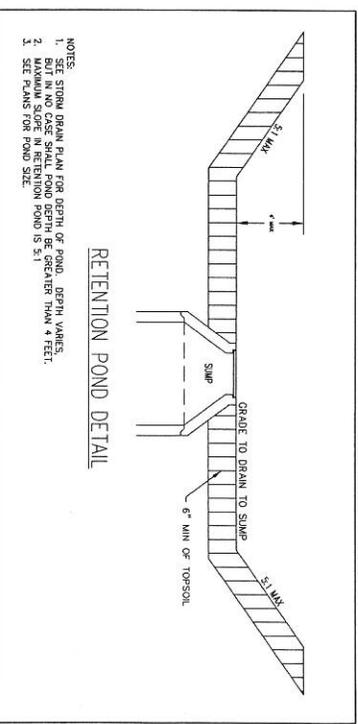
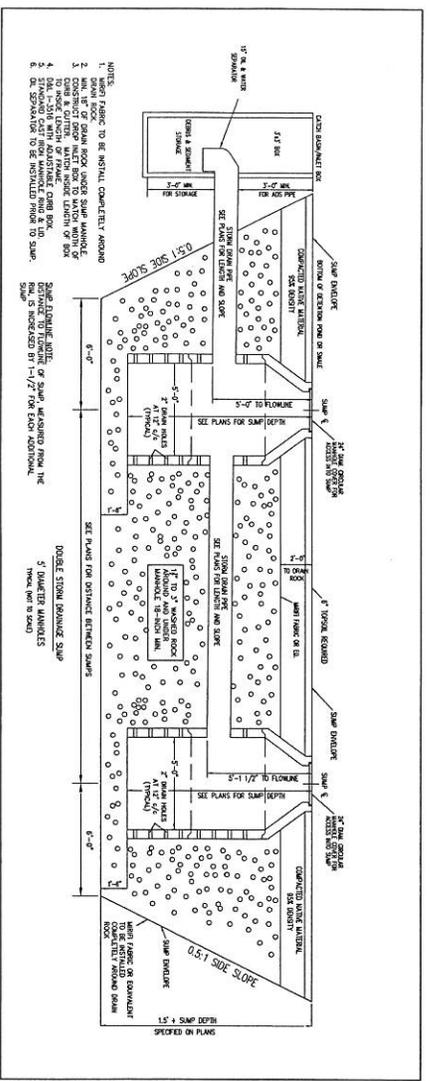
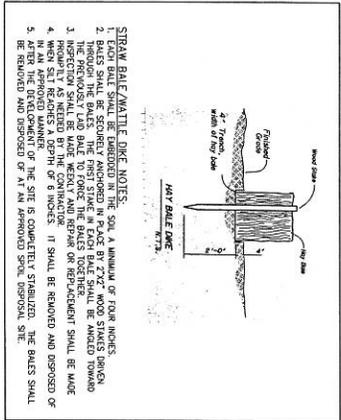
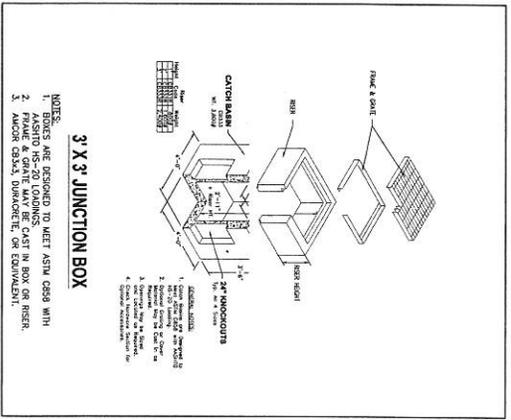
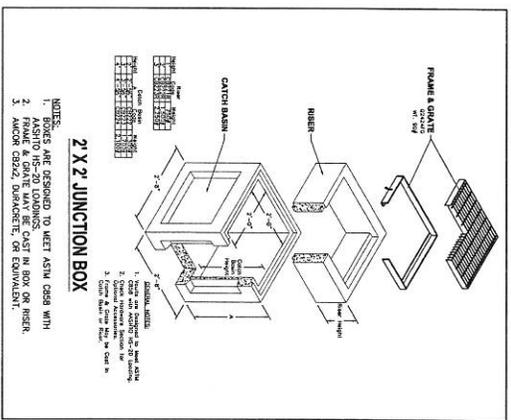
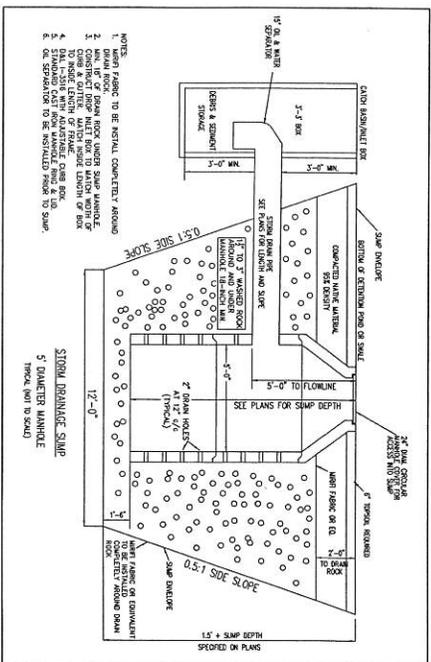
June 2006
MIDWAY CITY
STANDARD DRAWING
MIDW-5





CONSTRUCTION NOTES:
 LOCATION OF EXISTING UTILITIES SHOWN ON PLAN ARE APPROXIMATE AND MAY BE INCOMPLETE. CONTRACTOR IS RESPONSIBLE FOR BLUE SKIMMING OF UTILITIES.
 ALL STORM DRAIN CONSTRUCTION TO MEET MIDWAY CITY STANDARDS AS ADOPTED IN JUNE 2006 EDITION.





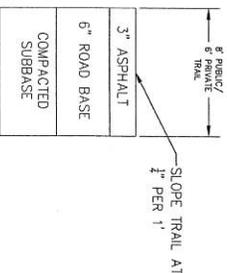
STORM DRAIN NOTES:

1. CONTRACTOR AND SURVEYOR SHALL REFER TO STORM DRAIN PLAN AND PROFILES FOR CATCH BASIN RIM ELEVATIONS
2. CONTRACTOR TO REFER TO STORM DRAIN PLAN AND PROFILE SHEETS FOR COORDINATES AND/OR STATIONING FOR CATCH BASINS
3. AND SWIMS WITH THE PROJECT
4. DETAILS TO PLANS FOR REQUIRED SUMP DEPTH. ALL SWIMS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE EQUIVALENT.
5. ALL REFERENCES TO MIRAFIL FILTER FABRIC ON THIS DETAIL SHEET SHALL BE A MINIMUM OF MIRAFIL 140N OR ENGINEER APPROVED EQUIVALENT.
6. ALL BEHIND CURB AND WATER SEPARATORS OR EQUIVALENT SHALL BE INSTALLED IN THE CATCH BASIN BEFORE EACH SUMP.
7. ALL STORM DRAIN CONSTRUCTION SHALL COMPLY WITH MINOWAY CITY STANDARDS AND SPECIFICATIONS AND WITH THESE PLANS.

FRANCOIS, UTAH
WASATCH MOUNTAIN DEVELOPMENT, LLC
ADDRESS: 1219 N. RANCHO GRANDE, MIDWAY, UT
PHONE: (435) 342-7702

STORM DRAIN CONSTRUCTION DETAILS

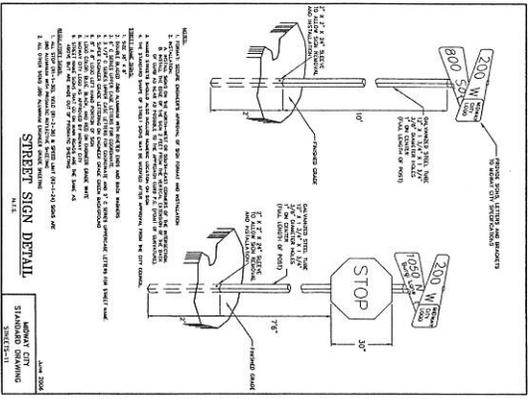
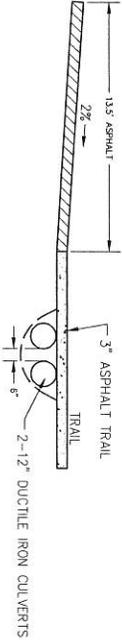
SCALE
DATE: 09 JUL 2007
SHEET NO. 13



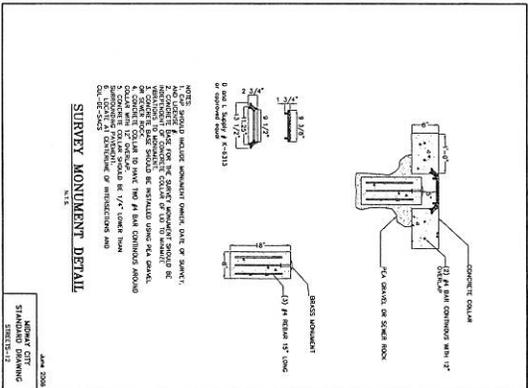
- NOTE:
1. THE WIDTH OF TRAILS WITHIN THE PROJECT ARE 6' OR 8'; ALL TRAILS IN PUBLIC ROAD RIGHT-OF-WAYS AND PUBLIC TRAILS ARE 8' IN WIDTH. ALL COMMON AREA TRAILS ARE 6' IN WIDTH.
 2. ALL ASPHALT AND ROAD BASE MATERIAL USED FOR TRAILS SHALL MEET MIDWAY CITY STREET STANDARDS FOR MATERIAL SPECIFICATIONS, PLACEMENT, COMPACTION AND TESTING. CONTRACTOR TO COMPACT SUBBASE BEFORE PLACING ROAD BASE MATERIAL FOR TRAIL.
 3. SUBBASE TO BE FREE OF ORGANIC MATERIAL.

ASPHALT TRAIL CROSS SECTION

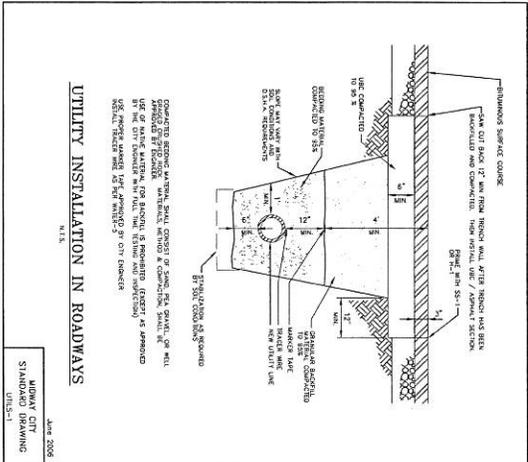
CULVERT AT TRAIL & ROAD INTERSECTION DETAIL



STREET SIGN DETAIL



SURVEY MONUMENT DETAIL



UTILITY INSTALLATION IN ROADWAYS

CONSTRUCTION DETAILS

DESIGNED BY: [Signature]

DATE: JUNE 2006

STANDARD DRAWING

UTAH

Saint Prex
800 West Swiss Alpine Road

Midway Water Advisory Project Data Sheet

Name of Project: Saint Prex

Address: 800 West Swiss Alpine Road

Name of Developer: Jura Holdings LLC

Total Acres of Project: 11.54 acres

Total Acres of Irrigated Land: 11.54 acres

No. of Buildings: _____

No. of Residential Units: 16 lots

No. of Hotel Units: _____

No. of Seats in Restaurant: _____

No. of Water Fixtures in Commercial Buildings (attach detail if applicable): _____

Utah Administrative Code R317-502-23/Requirements of the Division of Drinking Water:

Other: _____

Other: _____

No. of Acre Feet needed for inside use: 16 x 0.80 af = 12.80 af

No. of Acre Feet needed for outside use: (14 x 0.50) + (2 x 2.0) = 11.0 af

Total = 12.80 + 11.00 = 23.8 af = 7.93 shares

Extension or Modification of the City Water System:

see attached utility plan

Storage Facilities: _____

Midway Irrigation Company Consent:

a. Storm Water Runoff: onsite retention

b. Piping of Irrigation Ditch (Easements):

West Bench ditch will remain as is in project open space

c. Relocation of Ditches (Easements) none

d. Tail Water Control: West Bench ditch will remain as is

Secondary Water System: see attached utility plan

Comments:

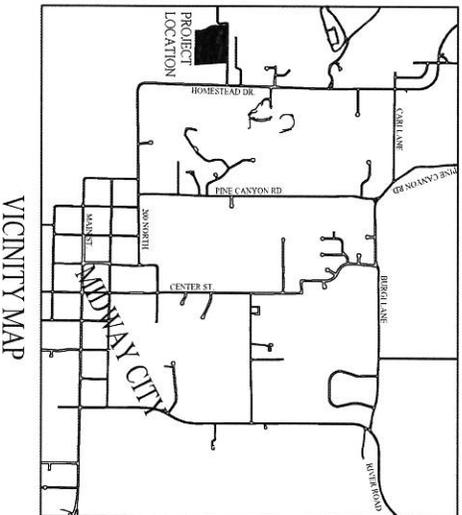
2 lots larger than 0.51 acres

14 lots 0.50 acres or less

Existing Midway Irrigation Company pipeline will be placed in

an 26' easement along the east property line.

SAINT-PREX ESTATES PRELIMINARY APPLICATION



VICINITY MAP

SHEET INDEX

1. EXISTING CONDITIONS
2. PRELIMINARY SITE PLAN
3. PRELIMINARY LANDSCAPE PLAN
4. PRELIMINARY SANITARY SEWER PLAN
5. PRELIMINARY CULINARY WATER PLAN
6. PRELIMINARY PRESSURIZED IRRIGATION PLAN
7. PRELIMINARY STORM DRAIN PLAN

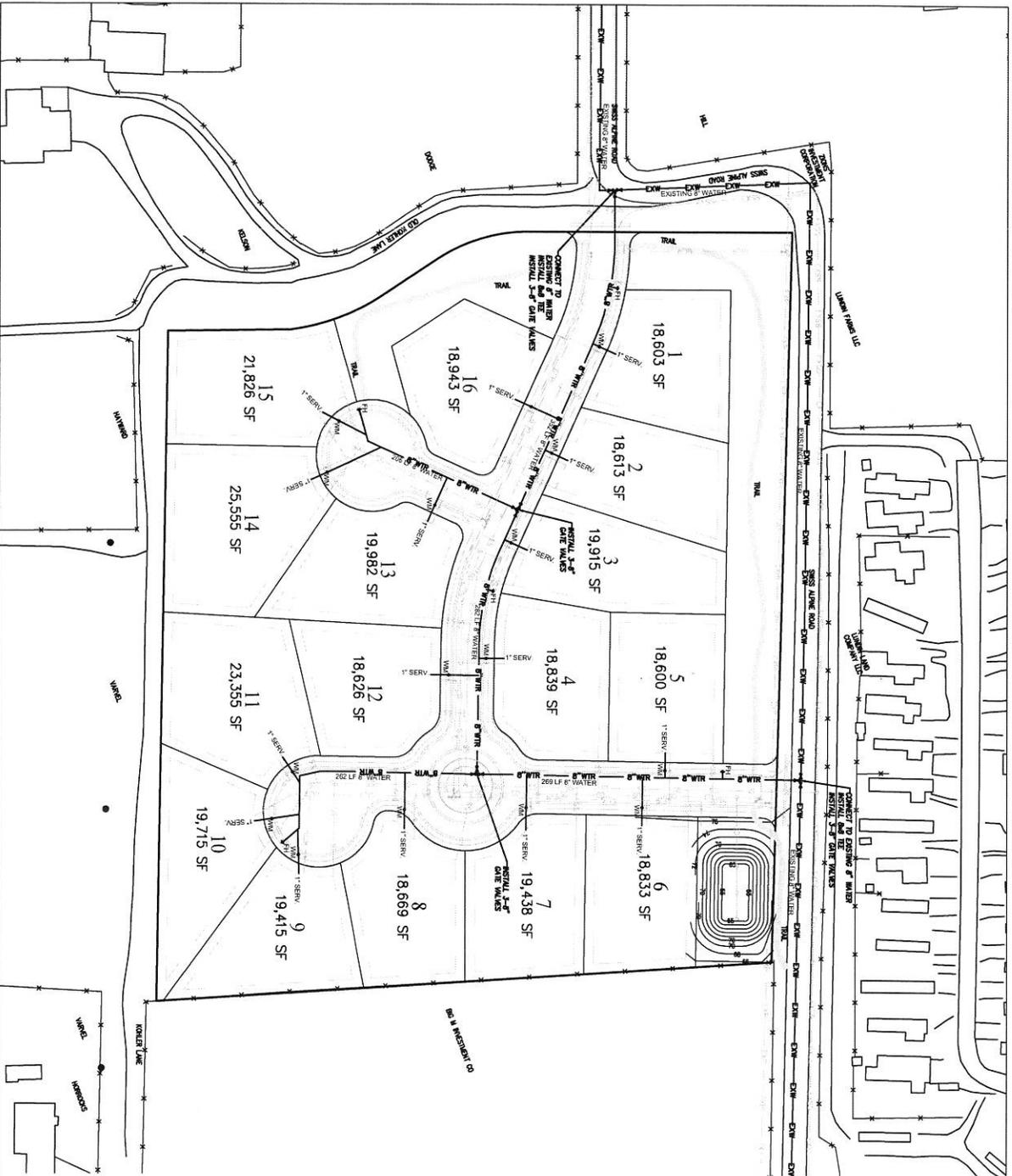
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ENGINEERING, INC.

JR/RAHEIM/MS/LLC
SAINT-PREX ESTATES

COVER SHEET



DESIGNED BY: JR/RAHEIM/MS/LLC
DRAWN BY: CNB
DATE: 03/28/2017
SHEET: 0

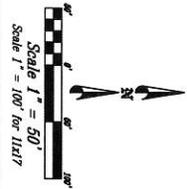


- LEGEND**
- EXISTING SEWER
 - PROPOSED SEWER
 - EXISTING WATER
 - PROPOSED WATER
 - EXISTING PRESSURIZED DISTRIBUTION
 - PROPOSED PRESSURIZED DISTRIBUTION
 - PROPOSED STORM DRAIN

- WATER MAINS**
- 24" WATER & PRESSURIZED DISTRIBUTION IMPROVEMENTS
 - 18" WATER & PRESSURIZED DISTRIBUTION IMPROVEMENTS
 - 12" WATER & PRESSURIZED DISTRIBUTION IMPROVEMENTS
 - 8" WATER & PRESSURIZED DISTRIBUTION IMPROVEMENTS
 - 6" WATER & PRESSURIZED DISTRIBUTION IMPROVEMENTS
 - 4" WATER & PRESSURIZED DISTRIBUTION IMPROVEMENTS
 - 2" WATER & PRESSURIZED DISTRIBUTION IMPROVEMENTS

BLUE PRINTS

- ALL UTILITIES & PRESSURIZED DISTRIBUTION IMPROVEMENTS
- 24" WATER & PRESSURIZED DISTRIBUTION IMPROVEMENTS
- 18" WATER & PRESSURIZED DISTRIBUTION IMPROVEMENTS
- 12" WATER & PRESSURIZED DISTRIBUTION IMPROVEMENTS
- 8" WATER & PRESSURIZED DISTRIBUTION IMPROVEMENTS
- 6" WATER & PRESSURIZED DISTRIBUTION IMPROVEMENTS
- 4" WATER & PRESSURIZED DISTRIBUTION IMPROVEMENTS
- 2" WATER & PRESSURIZED DISTRIBUTION IMPROVEMENTS



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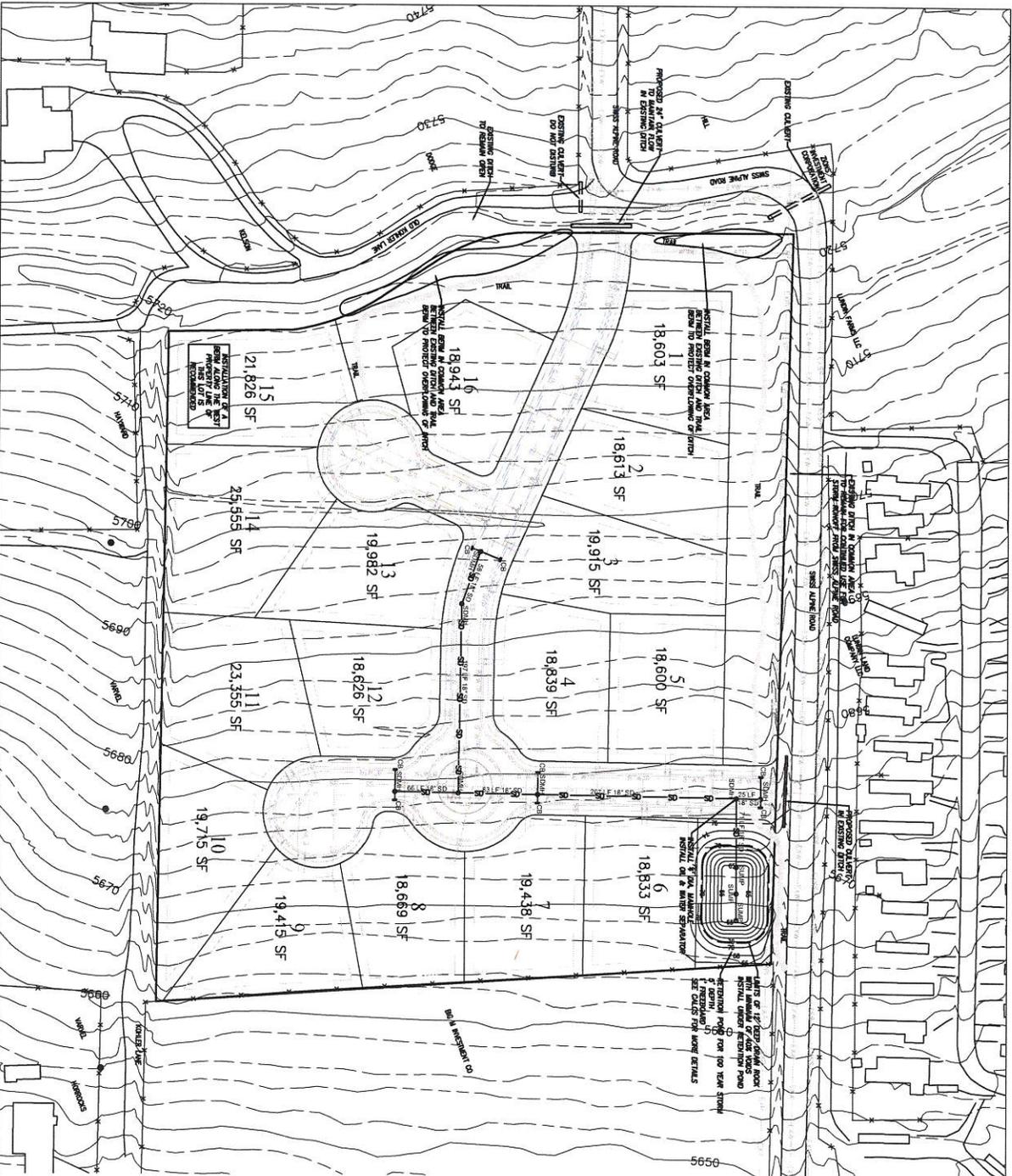
BERG ENGINEERING
 Raymond G. Berg, P.E.
 1000 North Main Street
 Westborough, MA 01581
 Phone: 508-853-9999
 Fax: 508-853-9998

SAINT-PRIX ESTATES
 PRELIMINARY
 WATER PLAN

DATE: 08/28/2012

REVISION: 001
 DRAWN BY: CMB
 CHECKED BY: JMB
 DATE: 08/28/2012

5



BERG ENGINEERING
 CONSULTANTS, LLC
 SAINT-PREX ESTATES
 PRELIMINARY
 STORM DRAIN PLAN

BERG ENGINEERING
 Resource Group PC
 10000 Old County Road
 Suite 200
 Omaha, NE 68134
 Phone: 402.426.8000
 Fax: 402.426.8001

DESIGNED BY: RAB
 DRAWN BY: RAB
 DATE: 03/28/2017
 SHEET: 7

NOTICE: THIS PLAN IS A PRELIMINARY DESIGN AND IS NOT TO BE USED FOR CONSTRUCTION WITHOUT THE WRITTEN APPROVAL OF BERG ENGINEERING CONSULTANTS, LLC. ANY CHANGES TO THIS PLAN MUST BE APPROVED BY BERG ENGINEERING CONSULTANTS, LLC. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

LEGEND:

- EXISTING STORM DRAIN
- PROPOSED STORM DRAIN
- EXISTING VALLEY
- PROPOSED VALLEY
- EXISTING DRIVE
- PROPOSED DRIVE
- EXISTING BERM
- PROPOSED BERM
- EXISTING TRAIL
- PROPOSED TRAIL
- EXISTING ROAD
- PROPOSED ROAD
- EXISTING LOT
- PROPOSED LOT
- EXISTING PROPERTY LINE
- PROPOSED PROPERTY LINE
- EXISTING EASEMENT
- PROPOSED EASEMENT
- EXISTING ENCROACHMENT
- PROPOSED ENCROACHMENT
- EXISTING OBSTRUCTION
- PROPOSED OBSTRUCTION
- EXISTING UTILITY
- PROPOSED UTILITY
- EXISTING FENCE
- PROPOSED FENCE
- EXISTING SIGN
- PROPOSED SIGN
- EXISTING LIGHT
- PROPOSED LIGHT
- EXISTING TREE
- PROPOSED TREE
- EXISTING PLANT
- PROPOSED PLANT
- EXISTING LANDSCAPE
- PROPOSED LANDSCAPE
- EXISTING HEDGELINE
- PROPOSED HEDGELINE
- EXISTING CURB
- PROPOSED CURB
- EXISTING GUTTER
- PROPOSED GUTTER
- EXISTING MANHOLE
- PROPOSED MANHOLE
- EXISTING INLET
- PROPOSED INLET
- EXISTING OUTLET
- PROPOSED OUTLET
- EXISTING STRUCTURE
- PROPOSED STRUCTURE
- EXISTING WALL
- PROPOSED WALL
- EXISTING FLOOR
- PROPOSED FLOOR
- EXISTING CEILING
- PROPOSED CEILING
- EXISTING ROOF
- PROPOSED ROOF
- EXISTING SLOPE
- PROPOSED SLOPE
- EXISTING GRADE
- PROPOSED GRADE
- EXISTING FINISH GRADE
- PROPOSED FINISH GRADE
- EXISTING PROPOSED FINISH GRADE
- PROPOSED PROPOSED FINISH GRADE

Table 1: Proposed Storm Drain System

Station	Flow (cfs)	Velocity (ft/s)	Depth (ft)	Material	Notes
1+00	1.5	1.5	1.5	18" PVC	18" PVC
2+00	2.5	2.5	2.5	18" PVC	18" PVC
3+00	3.5	3.5	3.5	18" PVC	18" PVC
4+00	4.5	4.5	4.5	18" PVC	18" PVC
5+00	5.5	5.5	5.5	18" PVC	18" PVC
6+00	6.5	6.5	6.5	18" PVC	18" PVC
7+00	7.5	7.5	7.5	18" PVC	18" PVC
8+00	8.5	8.5	8.5	18" PVC	18" PVC
9+00	9.5	9.5	9.5	18" PVC	18" PVC
10+00	10.5	10.5	10.5	18" PVC	18" PVC
11+00	11.5	11.5	11.5	18" PVC	18" PVC
12+00	12.5	12.5	12.5	18" PVC	18" PVC
13+00	13.5	13.5	13.5	18" PVC	18" PVC
14+00	14.5	14.5	14.5	18" PVC	18" PVC
15+00	15.5	15.5	15.5	18" PVC	18" PVC
16+00	16.5	16.5	16.5	18" PVC	18" PVC
17+00	17.5	17.5	17.5	18" PVC	18" PVC
18+00	18.5	18.5	18.5	18" PVC	18" PVC
19+00	19.5	19.5	19.5	18" PVC	18" PVC
20+00	20.5	20.5	20.5	18" PVC	18" PVC
21+00	21.5	21.5	21.5	18" PVC	18" PVC
22+00	22.5	22.5	22.5	18" PVC	18" PVC
23+00	23.5	23.5	23.5	18" PVC	18" PVC
24+00	24.5	24.5	24.5	18" PVC	18" PVC
25+00	25.5	25.5	25.5	18" PVC	18" PVC
26+00	26.5	26.5	26.5	18" PVC	18" PVC
27+00	27.5	27.5	27.5	18" PVC	18" PVC
28+00	28.5	28.5	28.5	18" PVC	18" PVC
29+00	29.5	29.5	29.5	18" PVC	18" PVC
30+00	30.5	30.5	30.5	18" PVC	18" PVC
31+00	31.5	31.5	31.5	18" PVC	18" PVC
32+00	32.5	32.5	32.5	18" PVC	18" PVC
33+00	33.5	33.5	33.5	18" PVC	18" PVC
34+00	34.5	34.5	34.5	18" PVC	18" PVC
35+00	35.5	35.5	35.5	18" PVC	18" PVC
36+00	36.5	36.5	36.5	18" PVC	18" PVC
37+00	37.5	37.5	37.5	18" PVC	18" PVC
38+00	38.5	38.5	38.5	18" PVC	18" PVC
39+00	39.5	39.5	39.5	18" PVC	18" PVC
40+00	40.5	40.5	40.5	18" PVC	18" PVC
41+00	41.5	41.5	41.5	18" PVC	18" PVC
42+00	42.5	42.5	42.5	18" PVC	18" PVC
43+00	43.5	43.5	43.5	18" PVC	18" PVC
44+00	44.5	44.5	44.5	18" PVC	18" PVC
45+00	45.5	45.5	45.5	18" PVC	18" PVC
46+00	46.5	46.5	46.5	18" PVC	18" PVC
47+00	47.5	47.5	47.5	18" PVC	18" PVC
48+00	48.5	48.5	48.5	18" PVC	18" PVC
49+00	49.5	49.5	49.5	18" PVC	18" PVC
50+00	50.5	50.5	50.5	18" PVC	18" PVC
51+00	51.5	51.5	51.5	18" PVC	18" PVC
52+00	52.5	52.5	52.5	18" PVC	18" PVC
53+00	53.5	53.5	53.5	18" PVC	18" PVC
54+00	54.5	54.5	54.5	18" PVC	18" PVC
55+00	55.5	55.5	55.5	18" PVC	18" PVC
56+00	56.5	56.5	56.5	18" PVC	18" PVC
57+00	57.5	57.5	57.5	18" PVC	18" PVC
58+00	58.5	58.5	58.5	18" PVC	18" PVC
59+00	59.5	59.5	59.5	18" PVC	18" PVC
60+00	60.5	60.5	60.5	18" PVC	18" PVC
61+00	61.5	61.5	61.5	18" PVC	18" PVC
62+00	62.5	62.5	62.5	18" PVC	18" PVC
63+00	63.5	63.5	63.5	18" PVC	18" PVC
64+00	64.5	64.5	64.5	18" PVC	18" PVC
65+00	65.5	65.5	65.5	18" PVC	18" PVC
66+00	66.5	66.5	66.5	18" PVC	18" PVC
67+00	67.5	67.5	67.5	18" PVC	18" PVC
68+00	68.5	68.5	68.5	18" PVC	18" PVC
69+00	69.5	69.5	69.5	18" PVC	18" PVC
70+00	70.5	70.5	70.5	18" PVC	18" PVC
71+00	71.5	71.5	71.5	18" PVC	18" PVC
72+00	72.5	72.5	72.5	18" PVC	18" PVC
73+00	73.5	73.5	73.5	18" PVC	18" PVC
74+00	74.5	74.5	74.5	18" PVC	18" PVC
75+00	75.5	75.5	75.5	18" PVC	18" PVC
76+00	76.5	76.5	76.5	18" PVC	18" PVC
77+00	77.5	77.5	77.5	18" PVC	18" PVC
78+00	78.5	78.5	78.5	18" PVC	18" PVC
79+00	79.5	79.5	79.5	18" PVC	18" PVC
80+00	80.5	80.5	80.5	18" PVC	18" PVC
81+00	81.5	81.5	81.5	18" PVC	18" PVC
82+00	82.5	82.5	82.5	18" PVC	18" PVC
83+00	83.5	83.5	83.5	18" PVC	18" PVC
84+00	84.5	84.5	84.5	18" PVC	18" PVC
85+00	85.5	85.5	85.5	18" PVC	18" PVC
86+00	86.5	86.5	86.5	18" PVC	18" PVC
87+00	87.5	87.5	87.5	18" PVC	18" PVC
88+00	88.5	88.5	88.5	18" PVC	18" PVC
89+00	89.5	89.5	89.5	18" PVC	18" PVC
90+00	90.5	90.5	90.5	18" PVC	18" PVC
91+00	91.5	91.5	91.5	18" PVC	18" PVC
92+00	92.5	92.5	92.5	18" PVC	18" PVC
93+00	93.5	93.5	93.5	18" PVC	18" PVC
94+00	94.5	94.5	94.5	18" PVC	18" PVC
95+00	95.5	95.5	95.5	18" PVC	18" PVC
96+00	96.5	96.5	96.5	18" PVC	18" PVC
97+00	97.5	97.5	97.5	18" PVC	18" PVC
98+00	98.5	98.5	98.5	18" PVC	18" PVC
99+00	99.5	99.5	99.5	18" PVC	18" PVC
100+00	100.5	100.5	100.5	18" PVC	18" PVC

Table 2: Proposed Storm Drain System

Station	Flow (cfs)	Velocity (ft/s)	Depth (ft)	Material	Notes
1+00	1.5	1.5	1.5	18" PVC	18" PVC
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3+00	3.5	3.5	3.5	18" PVC	18" PVC
4+00	4.5	4.5	4.5	18" PVC	18" PVC
5+00	5.5	5.5	5.5	18" PVC	18" PVC
6+00	6.5	6.5	6.5	18" PVC	18" PVC
7+00	7.5	7.5	7.5	18" PVC	18" PVC
8+00	8.5	8.5	8.5		

Midway Hills Subdivision
950 West Swiss Alpine Road

Midway Water Advisory Project Data Sheet

Name of Project: Midway Hills Subdivision

Address: 950 W Swiss Alpine Road

Name of Developer: Randy Lunden, Jeff Hill, Gary Hill

Total Acres of Project: 7.24

Total Acres of Irrigated Land: 6.74

No. of Buildings: 11

No. of Residential Units: 11

No. of Hotel Units:

No. of Seats in Restaurant:

No. of Water Fixtures in Commercial Buildings (attach detail if applicable):

Utah Administrative Code R317-502-23/Requirements of the Division of Drinking Water:

Other:

Other:

No. of Acre Feet needed for inside use: 7.00 Shares for inside and outside

No. of Acre Feet needed for outside use:

Extension or Modification of the City Water System:

Storage Facilities:

Midway Irrigation Company Consent:

a. Storm Water Runoff:

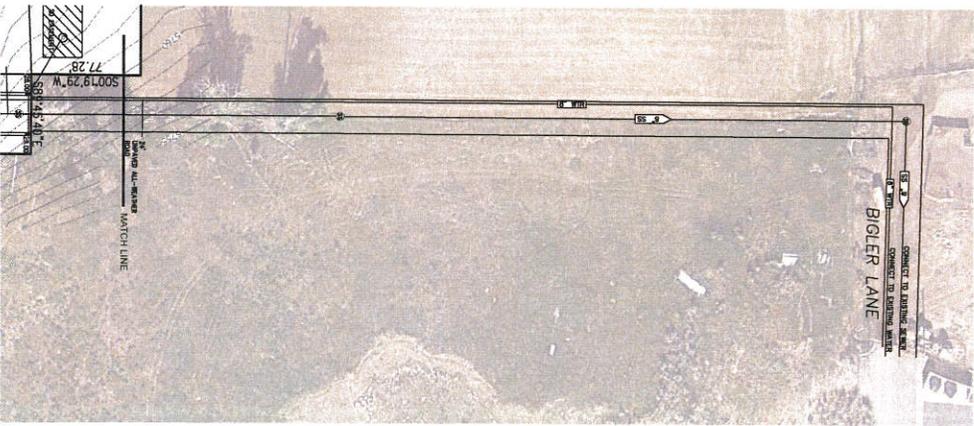
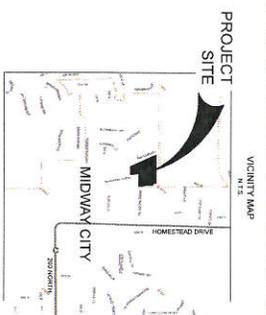
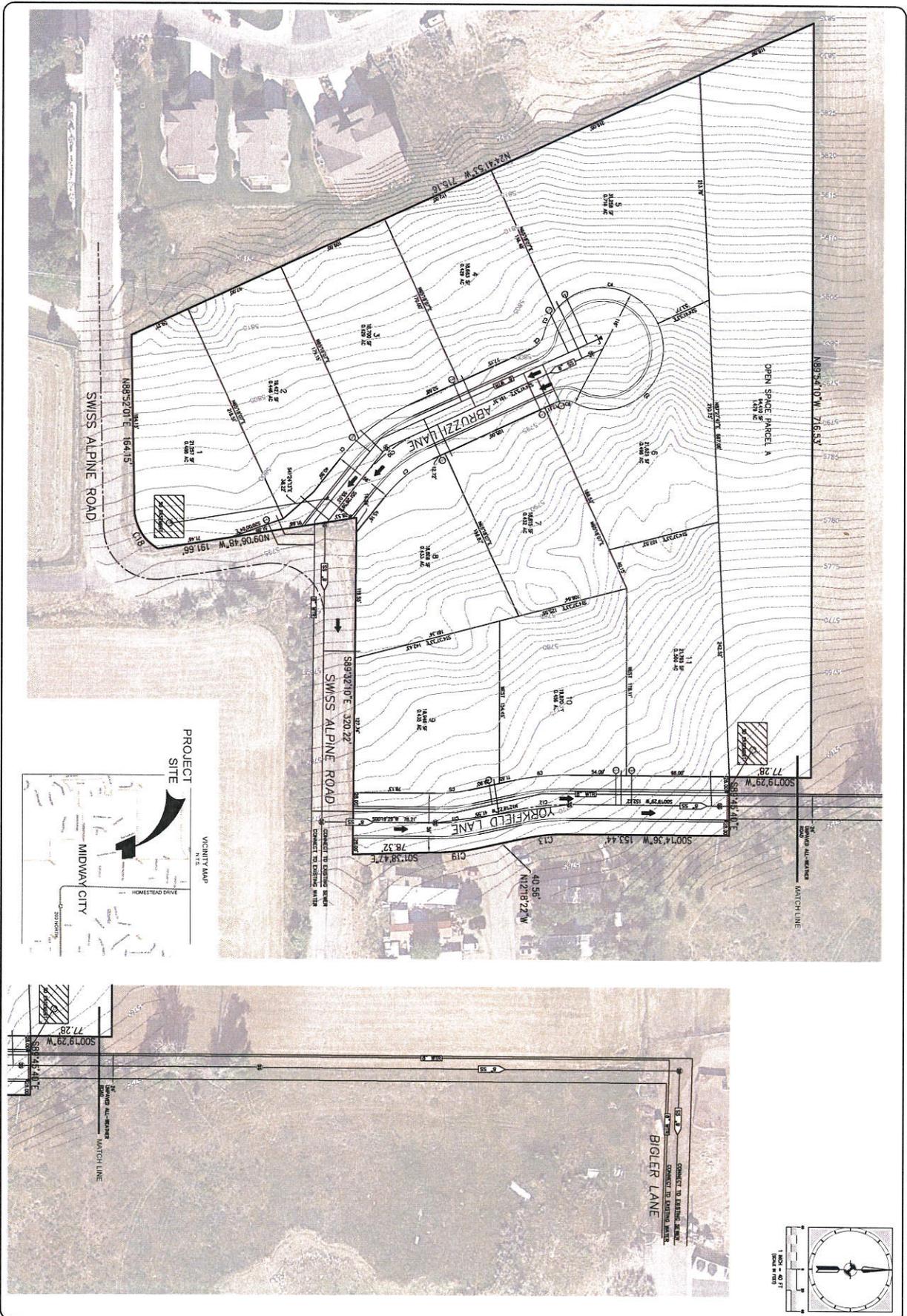
b. Piping of Irrigation Ditch (Easements):

c. Relocation of Ditches (Easements)

d. Tail Water Control:

Secondary Water System:

Comments:



PROJECT MIDWAY HILLS SUBDIVISION	PROJECT ENGINEER BMS	MIDWAY CITY	DATE
	PROJECT MANAGER BMS		
SHEET TITLE UTILITY PLAN	DRAWN BY B.P.	DESIGN ENGINEER	DATE
	ISSUE DATE 6-14-2017		
PROJECT C17-030	REVISIONS		DATE BY
DRAWING C-10	1		
	2		
	3		
	4		
	5		
	6		
	7		
	8		

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 HENRY CITY, UTAH 84022
 P. 435-254-8228 • F. 435-254-8231

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