

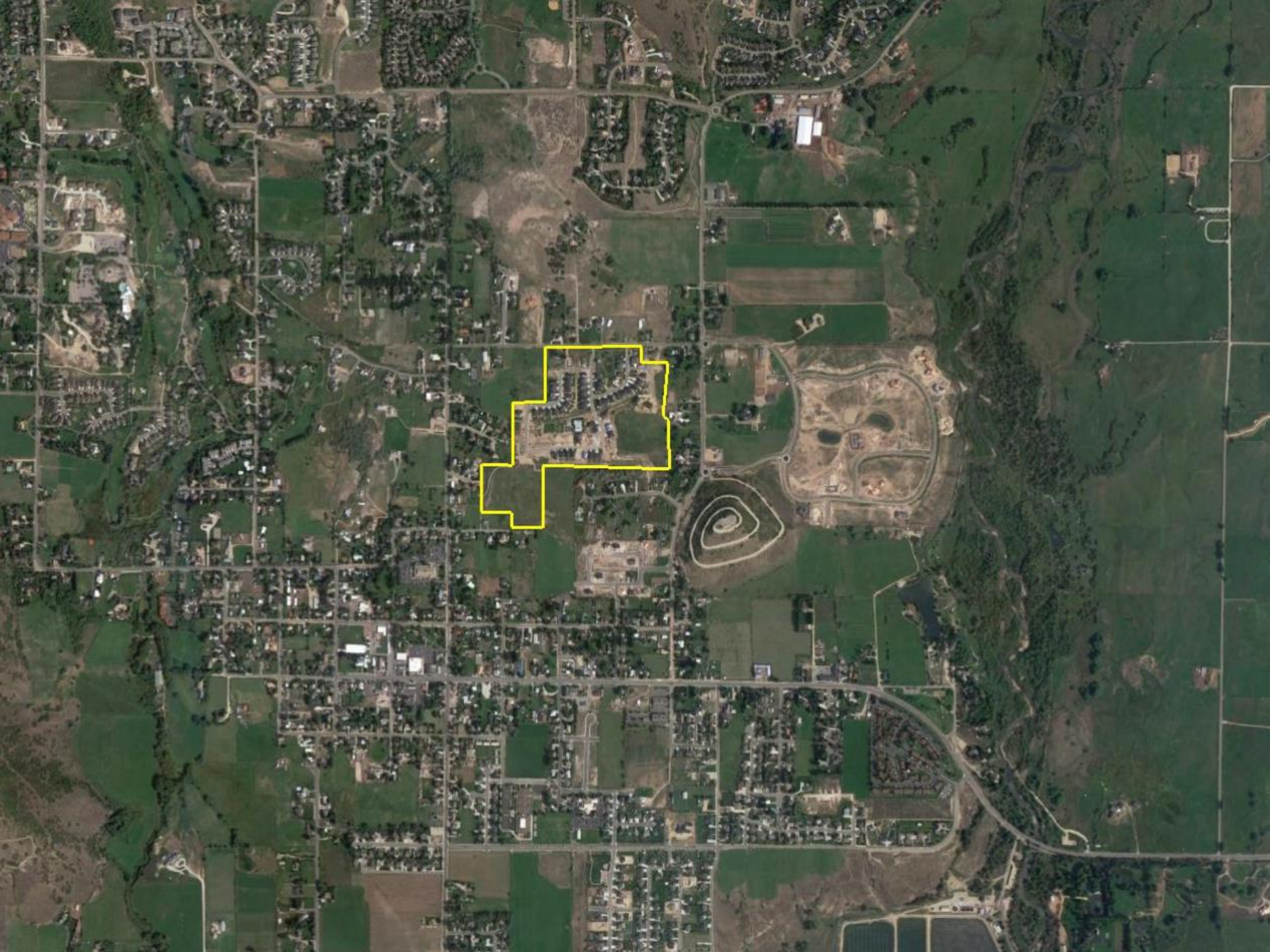
WATTS REMUND FARMS PHASE 5  
PLANNED UNIT DEVELOPMENT

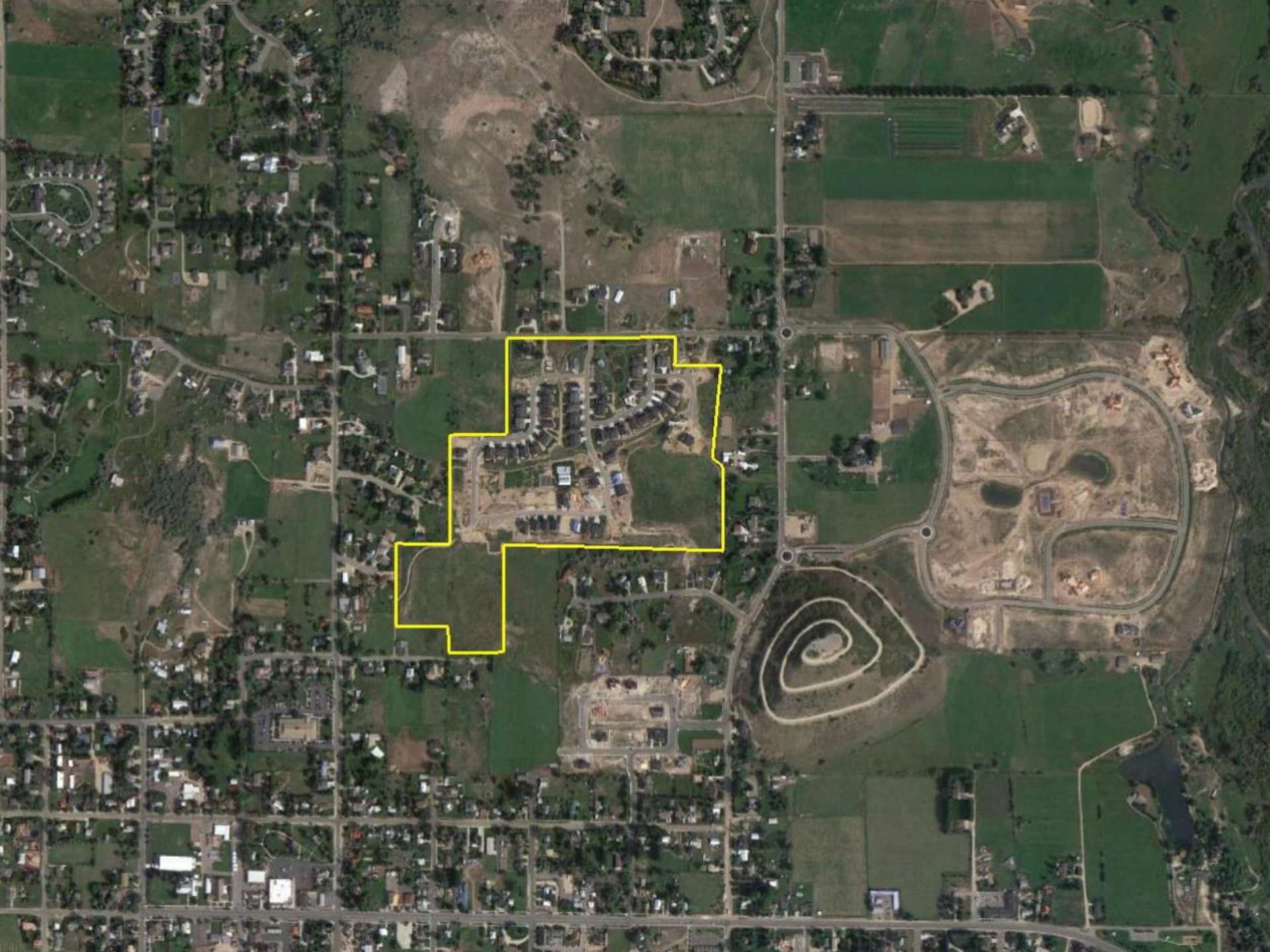
FINAL



# LAND USE SUMMARY

- R-1-15 zone
- 10 pads in a PUD subdivision
- 9.22 acres
  - 5.57 acres of open space
- Private road, with a public access easement, will be maintained by the HOA
- Trails within this phase are public and private with public easements
- Sensitive lands include wetlands
- The lots will connect to the Midway Sanitation District sewer, Midway City's culinary water line, and Midway Irrigation Company's secondary water line

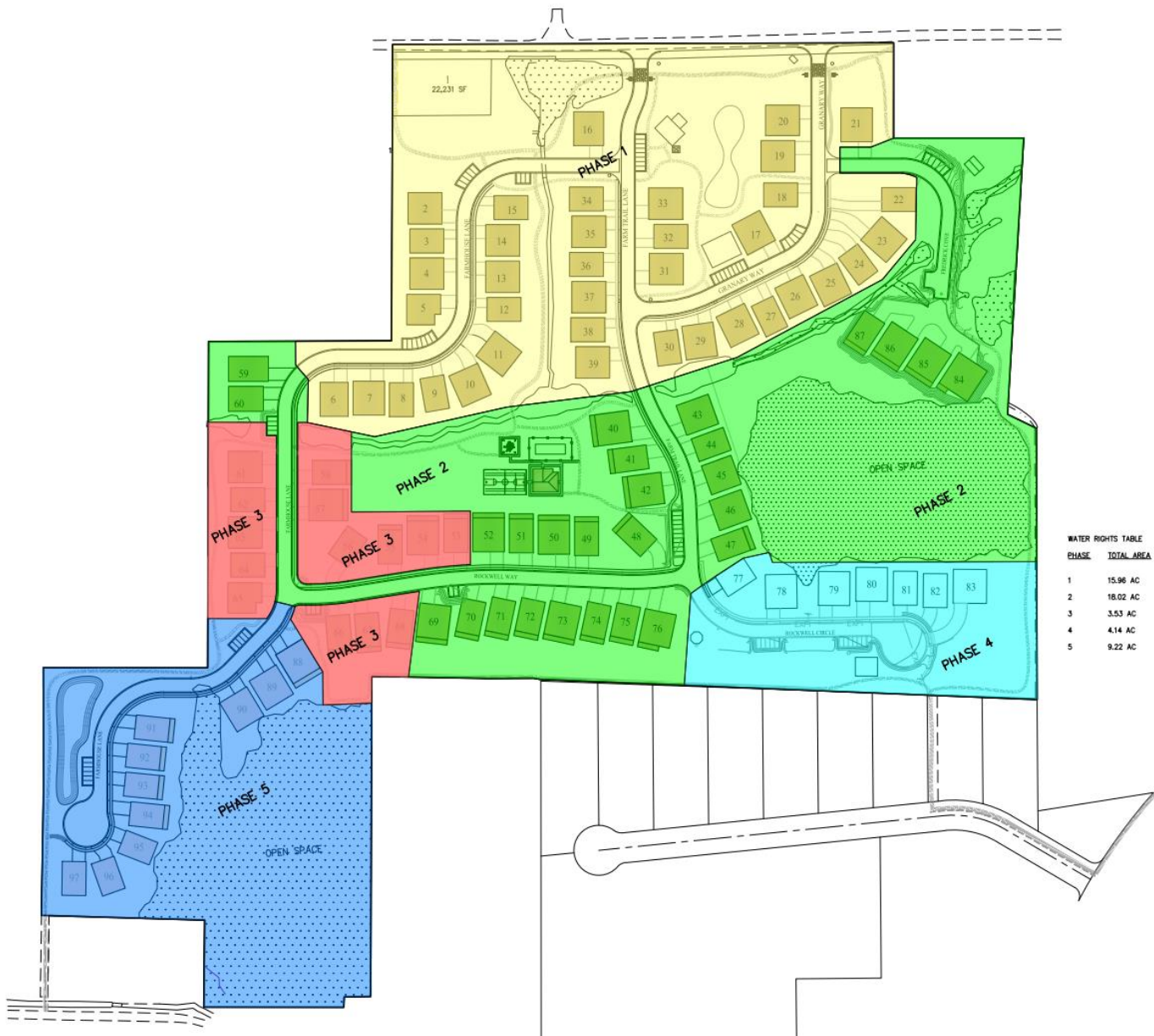








# PHASING PLAN



SCALE: 1"=100'  
SCALE 1"=200' FOR 11"x17" PLANS

**LEGEND**

WETLANDS

| PHASING | AREA        | UNITS                               |
|---------|-------------|-------------------------------------|
| PHASE 1 | 15.96 ACRES | 1-39                                |
| PHASE 2 | 18.02 ACRES | 40-52,<br>59-60,<br>69-76,<br>84-87 |
| PHASE 3 | 3.53 ACRES  | 53-58,<br>61-68                     |
| PHASE 4 | 4.14 ACRES  | 77-83                               |
| PHASE 5 | 9.22 ACRES  | 88-97                               |

**WATER RIGHTS TABLE**

| PHASE | TOTAL AREA | BUILDINGS & DRIVEWAYS | ROADS & PARKING | TRAILS & SIDEWALKS | WETLANDS & STREAMS | IRRIGATED AREAS |
|-------|------------|-----------------------|-----------------|--------------------|--------------------|-----------------|
| 1     | 15.96 AC   | 4.62 AC               | 1.68 AC         | 0.72 AC            | 0.66 AC            | 8.28 AC         |
| 2     | 18.02 AC   | 3.23 AC               | 1.40 AC         | 0.68 AC            | 5.05 AC            | 7.66 AC         |
| 3     | 3.53 AC    | 1.51 AC               | 0.01 AC         | 0.14 AC            | 0.12 AC            | 1.75 AC         |
| 4     | 4.14 AC    | 0.80 AC               | 0.45 AC         | 0.22 AC            | 0.15 AC            | 2.52 AC         |
| 5     | 9.22 AC    | 1.00 AC               | 0.57 AC         | 0.27 AC            | 5.02 AC            | 2.36 AC         |

THIS DOCUMENT IS RELEASED FOR REVIEW ONLY. IT IS NOT INTENDED FOR CONSTRUCTION UNLESS SIGNED AND SEALED.

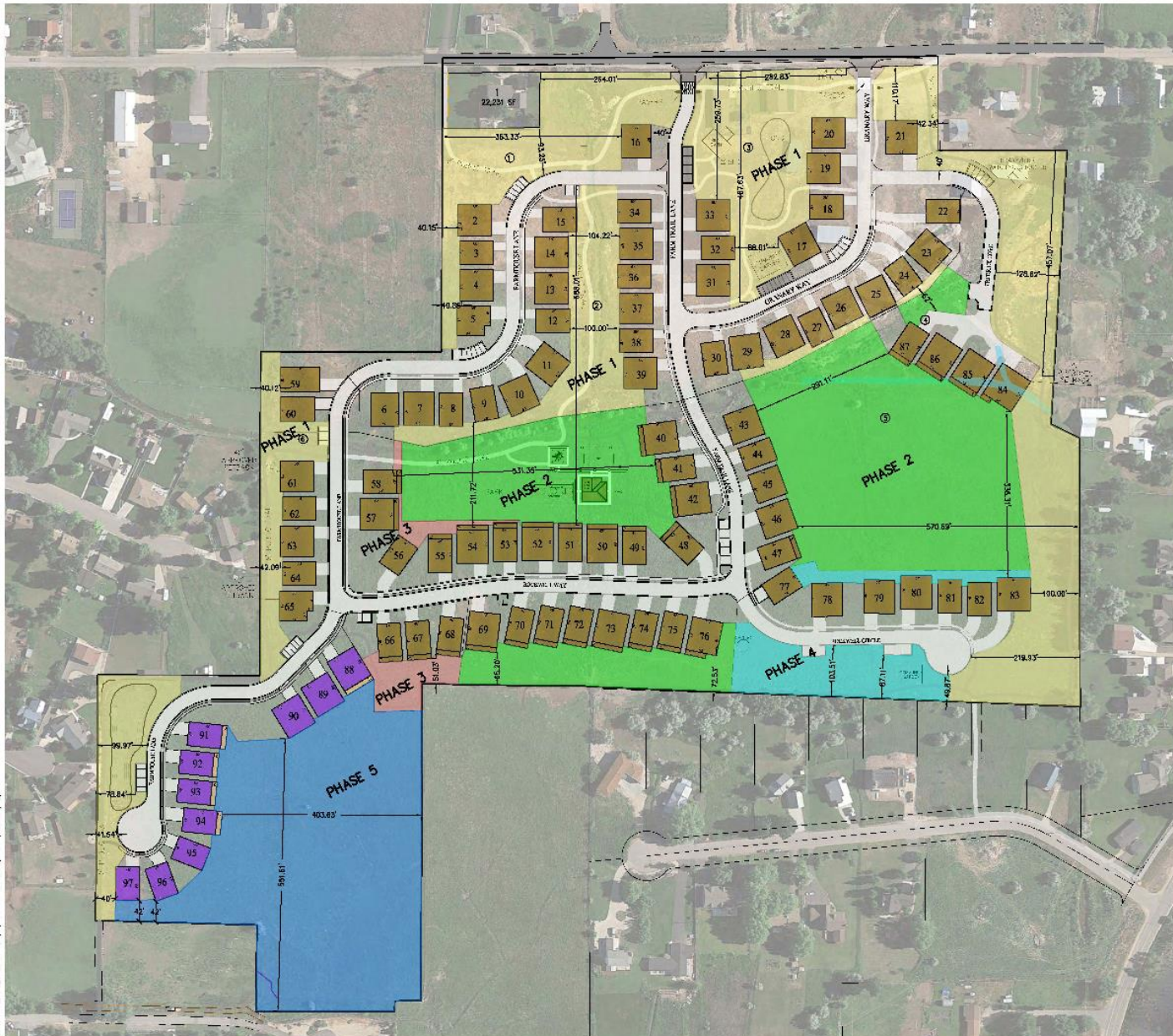
PAUL D. BIRD P.E.  
SERIAL NO. 289286  
DATE: 5 OCT 2022

WATTS ENTERPRISES  
REMUND FARMS  
PHASING PLAN



DESIGN BY: PDB  
DRAWN BY: RBH  
DATE: 5 OCT 2022  
REV:

# OPEN SPACE PLAN



SCALE: 1"=100'  
DATE: 11-01-2022 11:47:11 AM

**LEGEND**

WETLANDS (10.00 AC)

**OPEN SPACE REQUIREMENTS:**  
PERIMETRY - 40' MINIMUM  
INTERIOR - 100' MINIMUM

**TOTAL OPEN SPACE:** ONSITE 26.76 AC (50.64%)  
OFFSITE 1.32 AC (2.48%)  
TOTAL 28.10 AC (53.24%) (10% REQUIRED)

**OPEN SPACE DEDICATION BY PHASE**

| PHASE | AREA     | OPEN SPACE PER PHASE | TOTAL PROJECT PROJECT AREA | TOTAL PROJECT OPEN SPACE |
|-------|----------|----------------------|----------------------------|--------------------------|
| 1     | 13.96 AC | 11.21 AC (79.24%)    | 13.96 AC                   | 11.21 AC (79.58%)        |
| 2     | 18.02 AC | 8.10 AC (45.10%)     | 33.92 AC                   | 20.73 AC (61.11%)        |
| 3     | 3.63 AC  | 0.62 AC (17.27%)     | 37.51 AC                   | 21.35 AC (56.92%)        |
| 4     | 4.14 AC  | 1.24 AC (29.95%)     | 41.65 AC                   | 22.59 AC (54.23%)        |
| 5     | 9.22 AC  | 5.07 AC (55.41%)     | 90.87 AC                   | 28.16 AC (30.98%)        |
|       |          | 26.68 AC (53.77%)    |                            |                          |

BROWN: EXISTING LIMITS  
PURPLE: PHASE 5

**OPEN SPACE NOTES:**

TOTAL AREA: 50.87 ACRES  
PUD AREA: 50.36 ACRES  
TOTAL OPEN SPACE: 28.10 ACRES (55.24%) OF ENTIRE DEVELOPMENT

OPEN SPACE IN A SINGLE OPEN SPACE AREA = 18.47 ACRES (36.32%)

SECTION 18.18.11.C REQUIRES ONE-HALF OF ALL OPEN SPACE TO BE RETAINED IN A SINGLE OPEN SPACE AREA. OPEN SPACE PARCEL 5 MEETS THIS PUD REQUIREMENT.

"THIS DOCUMENT IS VALID ONLY IF USED IN ACCORDANCE WITH THE INTENT OF THE ORIGINAL DESIGNER. ANY REVISIONS OR MODIFICATIONS SHALL BE MADE BY THE ORIGINAL DESIGNER OR HIS AUTHORIZED REPRESENTATIVE."  
DATE: 11-01-2022  
DRAWN BY: BHE

WATSON/HUBBARD  
REMUND FARMS  
OPEN SPACE  
MASTER PLAN









# STORM WATER POLLUTION PREVENTION PLAN

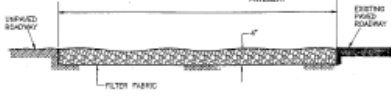
## STABILIZED CONSTRUCTION ACCESS

A STABILIZED CONSTRUCTION PATHWAY APPLIED TO PORTS OF CONSTRUCTION ACCESS AND SCREENS WHERE SEDIMENT MAY BE TRACKED ON FLOW OFF THE CONSTRUCTION SITE.

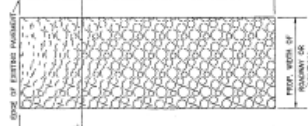
### MAINTENANCE

THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERFORMING TOP DRESSING WITH ADDITIONAL STONE OR ADDITIONAL LENGTH AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO MAINTAIN. ALL SEDIMENT SPILLS, DRIPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.

### X-SECT



### PLAN



LENGTH - 50 FEET MINIMUM WHERE THE SOILS ARE SANDS OR GRAVELS OR 100 FEET MINIMUM WHERE SOILS ARE CLAYS OR SILT, EXCEPT WHERE THE TRAVELED LENGTH IS LESS THAN 80 OR 100 FEET RESPECTIVELY.

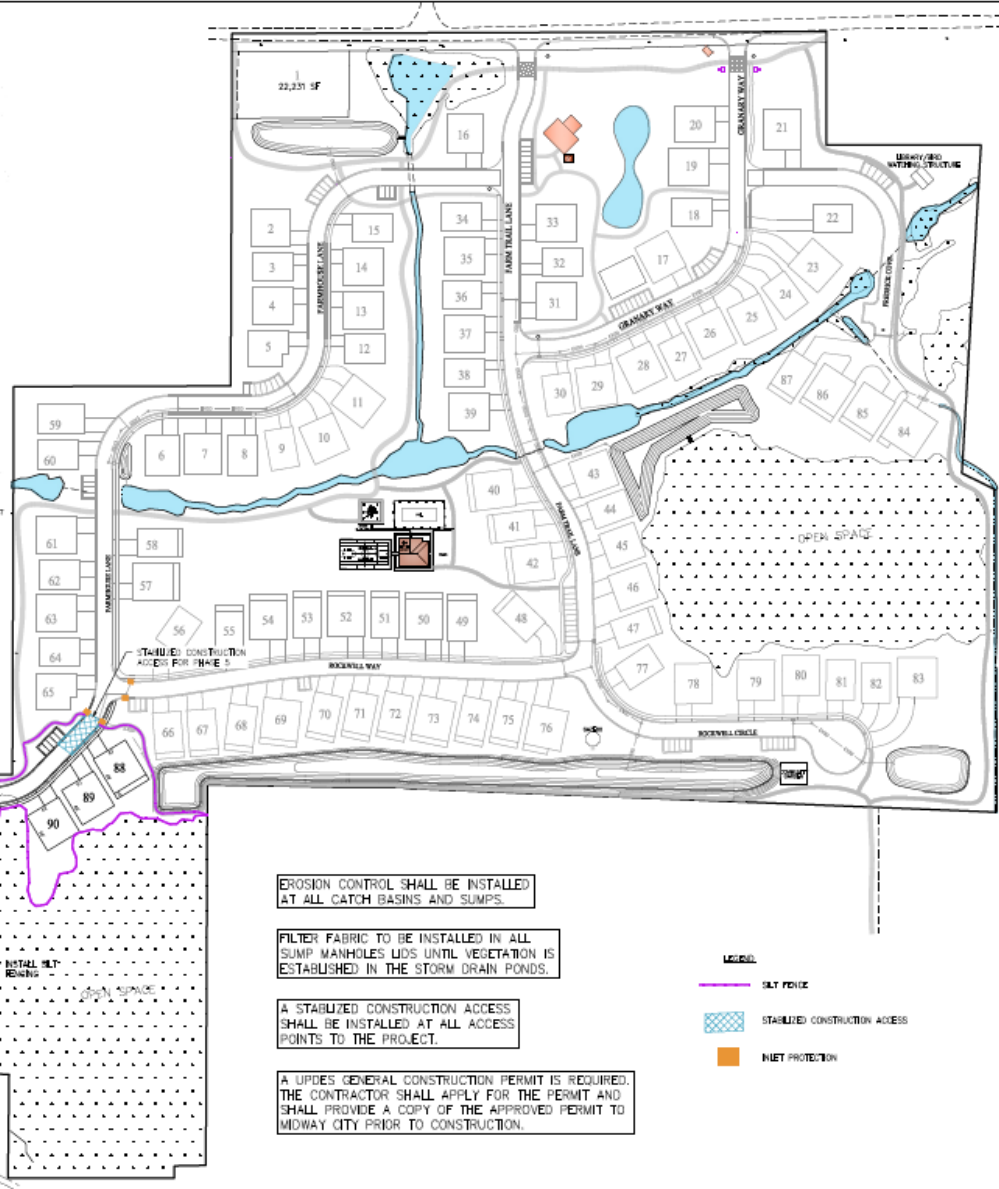
### MAINTENANCE

THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERFORMING TOP DRESSING WITH ADDITIONAL STONE OR ADDITIONAL LENGTH AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO MAINTAIN. ALL SEDIMENT SPILLS, DRIPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.



Scale 1" = 100'

FOR 11"x17" PLANS SCALE IS 1"=200'

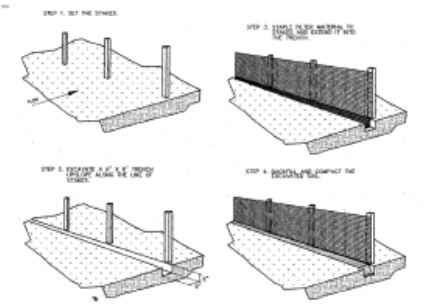
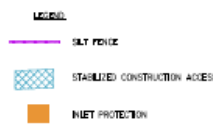


EROSION CONTROL SHALL BE INSTALLED AT ALL CATCH BASINS AND SUMPS.

FILTER FABRIC TO BE INSTALLED IN ALL SUMP MANHOLES LIDS UNTIL VEGETATION IS ESTABLISHED IN THE STORM DRAIN PONDS.

A STABILIZED CONSTRUCTION ACCESS SHALL BE INSTALLED AT ALL ACCESS POINTS TO THE PROJECT.

A UPDES GENERAL CONSTRUCTION PERMIT IS REQUIRED. THE CONTRACTOR SHALL APPLY FOR THE PERMIT AND SHALL PROVIDE A COPY OF THE APPROVED PERMIT TO MIDWAY CITY PRIOR TO CONSTRUCTION.



- CONSTRUCTION SPECIFICATIONS FOR SILT BARRIERS**
- SILT BARRIERS SHALL BE CONSTRUCTED AS A PERMANENT SLOPE OF PROPOSED WORK. FILTER FABRIC SHALL BE A PERMANENT SLOPE OF PROPOSED WORK. FILTER FABRIC SHALL BE A PERMANENT SLOPE OF PROPOSED WORK. FILTER FABRIC SHALL BE A PERMANENT SLOPE OF PROPOSED WORK.
  - THE SLOPE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERFORMING TOP DRESSING WITH ADDITIONAL STONE OR ADDITIONAL LENGTH AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO MAINTAIN. ALL SEDIMENT SPILLS, DRIPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
  - THE SLOPE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERFORMING TOP DRESSING WITH ADDITIONAL STONE OR ADDITIONAL LENGTH AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO MAINTAIN. ALL SEDIMENT SPILLS, DRIPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
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## CONSTRUCTION OF A FILTER BARRIER

**EROSION CONTROL FOR STORM DRAIN SYSTEM**  
CONTRACTOR SHALL INSTALL EROSION CONTROL AT ALL CATCH BASINS DURING CONSTRUCTION. EROSION CONTROL TO INCLUDE FILTER FABRIC AND SUMP LIDS. CONTRACTOR SHALL PERIODICALLY REMOVE SEDIMENT THAT COLLECTS AROUND THE CATCH BASINS AND SHALL KEEP THE STORM DRAIN SYSTEM FREE OF SEDIMENT AND DEBRIS.

**CONSTRUCTION ENTRANCE**  
A STABILIZED CONSTRUCTION ACCESS IS REQUIRED FOR THIS PROJECT DURING CONSTRUCTION OF THE DEVELOPMENT AND BUILDING. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING A STABILIZED CONSTRUCTION ACCESS. SEE DETAIL ON THE SHEET FOR ADDITIONAL INFORMATION.

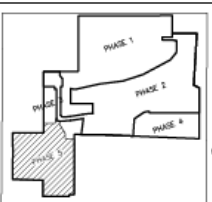
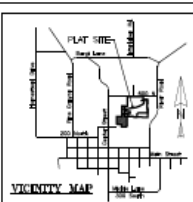
**CLEANUP AND ORDERING**  
CONTRACTOR IS RESPONSIBLE TO CLEAR AND GRUB A MINIMUM OF 12" FROM THE ROADWAY AREA FOR THE STREET AND PARKING AREAS. CONTRACTOR IS RESPONSIBLE TO CLEAR AND GRUB A MINIMUM OF 12" FROM THE PROPOSED BUILDING PADS AND DRIVEWAYS. OBSTRUCTIONS SHOULD REMAIN ON SITE FOR USE IN SITE GRADING FOR LANDSCAPED AREAS.

WATTS ENTERPRISES  
REMUND FARMS  
STORM WATER POLLUTION  
PREVENTION PLAN - PHASE 5

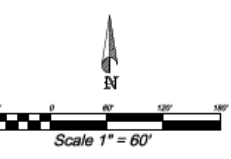


DESIGN BY: PDB DATE: 11 JAN 2023 SHEET  
DRAWN BY: CDB REV: 14

THIS DOCUMENT IS PREPARED FOR REVIEW ONLY. IT IS NOT TO BE USED FOR CONSTRUCTION UNLESS SPECIFICALLY NOTED OTHERWISE.  
PAUL S. BERG, P.E.  
SERIAL NO. 22262  
DATE: 11 JAN 2023



# WATTS REMUND FARMS PUD PHASE 5



**LEGEND**

- COMMON AREA (2.08 AC)
- PRIVATE AREA #1 (HOUSE PAD) (0.82 AC)
- PRIVATE AREA #2 (PATIO) (0.06 AC)
- WETLANDS
- 20' PUBLIC TRAIL AND UTILITY EASEMENT
- PRIVATE TRAIL WITH PUBLIC USE EASEMENT
- 3/4" SURVEY MONUMENT

**ADDRESS TABLE**

|    |                    |
|----|--------------------|
| 88 | XXX FARMHOUSE LANE |
| 89 | XXX FARMHOUSE LANE |
| 90 | XXX FARMHOUSE LANE |
| 91 | XXX FARMHOUSE LANE |
| 92 | XXX FARMHOUSE LANE |
| 93 | XXX FARMHOUSE LANE |
| 94 | XXX FARMHOUSE LANE |
| 95 | XXX FARMHOUSE LANE |
| 96 | XXX FARMHOUSE LANE |
| 97 | XXX FARMHOUSE LANE |

ALL MEASUREMENTS ARE PUT ON NOTICE THAT THE WATTS REMUND FARMS HAS FULL FINANCIAL AND PHYSICAL RESPONSIBILITY FOR MAINTENANCE AND IMPROVEMENT OF THE TRAIL (S) LANDSCAPE (WETLANDS) LOCATED AT THE BOUNDARY LINE AND ROAD BOUNDARIES IN PERPETUITY. ALL COSTS FOR ON-GOING CARE OF THESE PARCELS WILL BE INCLUDED IN HOA FEES. THESE LOTS ARE CONSIDERED AS OPEN SPACE IN WATTS REMUND FARMS SUBDIVISION AND AN ADDITIONAL 2.08 UNITS OF DENSITY HAS GRANTED BASED ON THIS OPEN SPACE AS SUCH THE OPEN SPACE IS FULL OBLIGATION OF THE HOA. MEASUREMENTS HAS NO FINANCIAL OR MAINTENANCE OBLIGATIONS ASSOCIATED WITH THESE THREE PARCELS AS SET FORTH IN THE DEVELOPMENT AGREEMENT.

**PRIVATE ROAD NOTE:**  
ALL PRIVATE ROADS HAVE A PUBLIC ACCESS EASEMENT.

**BUILDING PAD COORDINATES**

| POINT | NORTHING   | EASTING    |
|-------|------------|------------|
| A     | N 11421.90 | E 10843.72 |
| B     | N 11385.11 | E 10789.93 |
| C     | N 11369.41 | E 10790.41 |
| D     | N 11336.77 | E 10736.93 |
| E     | N 11325.72 | E 10791.53 |
| F     | N 11293.07 | E 10677.65 |
| G     | N 11269.02 | E 10510.90 |
| H     | N 11221.27 | E 10506.04 |
| J     | N 11212.48 | E 10500.34 |
| K     | N 11154.74 | E 10488.67 |
| L     | N 11154.59 | E 10489.62 |
| M     | N 11106.83 | E 10484.76 |
| N     | N 11096.21 | E 10500.34 |
| O     | N 11047.45 | E 10495.38 |
| P     | N 11037.91 | E 10490.63 |
| Q     | N 10993.27 | E 10472.98 |
| R     | N 10986.00 | E 10465.69 |
| S     | N 10970.16 | E 10420.38 |
| T     | N 10974.94 | E 10410.14 |
| U     | N 10975.80 | E 10362.45 |

**WETLAND NOTE:**  
WETLANDS CANNOT BE DRAINAGE UNLESS HOA WATER RIGHTS ARE PROVIDED.

**RIGHT TO FARM NOTICE:**  
PURCHASERS OF LOTS IN THIS DEVELOPMENT ARE HEREBY NOTIFIED THAT THEY ARE PURCHASING PROPERTY ADJACENT TO OR NEARBY FARMLAND AND AGREE TO PROTECT THE RIGHT TO FARM OF THESE PROPERTY OWNERS. PURCHASERS ARE ADVISED THAT FARM HOUSING REGULATIONS AND ZONING LAWS AND OTHER REGULATIONS AND ORDINANCES MAY BE UNDESIRABLE TO SOME PURCHASERS. EVEN THOUGH FARMERS MAY NOT WISHLIST WATER YOUR PROPERTIES, YOU MAY CONSIDER GROUND WATER DEPLETION AND/OR SPRINKLER CONSIDERATION FROM YOUR REGISTRATION, BURNING GRASS CLIPPINGS OR ANY OTHER MATERIALS INTO THE PROPERTY OF ANOTHER WITHOUT PERMISSION IS AN ILLEGAL VIOLATION.

**U.S. NOTE:**  
A FIRE HAS BEEN PROMISED ON ALL STREETS AND 20' EASEMENT FOR OWNER THAT DOES NOT FOLLOW HIGHWAY.

**PAD LEGEND**

|                   |                                   |
|-------------------|-----------------------------------|
| UNITS 88, 89 & 90 | UNITS 91, 92, 93, 94, 95, 96 & 97 |
|-------------------|-----------------------------------|

**SUBLEADS:**  
NEWBY TULLS, PLLC  
35 SOUTH CENTER  
HEBER CITY, UT 84033  
PHONE (435) 864-8329  
DATE OF SURVEY: APRIL 2018

## BOUNDARY DESCRIPTION

BEGINNING AT A POINT WHICH IS NORTH 89°40'31" EAST 766.01 FEET AND SOUTH 1115.39 FEET FROM THE FOUND WASHINGTON COUNTY SURVEYORS MONUMENT FOR THE NORTHWEST CORNER OF SECTION 35, TOWNSHIP 3 SOUTH, RANGE 4 EAST, SALT LAKE BASE AND MERIDIAN;

THENCE SOUTH 75°59'28" EAST 42.00 FEET; THENCE SOUTH ALONG THE ARC OF A 135.00 FOOT RADIUS CURVE TO THE RIGHT 27.20 FEET (CENTRAL ANGLE OF 11°32'39" AND A CHORD BEARING SOUTH 19°47'50" WEST 97.29 FEET; THENCE SOUTH 37°21'32" EAST 123.43 FEET; THENCE SOUTH 02°34'56" WEST 65.08 FEET; THENCE NORTH 87°39'20" EAST 97.29 FEET; THENCE SOUTH 80°12'21" WEST 387.79 FEET; THENCE SOUTH 89°17'15" WEST 53.00 FEET; THENCE SOUTH 01°33'41" WEST 20.78 FEET; THENCE NORTH 89°28'40" WEST 290.49 FEET; THENCE NORTH 02°36'10" EAST 174.54 FEET; THENCE NORTH 89°21'19" WEST 327.09 FEET; THENCE NORTH 02°33'54" EAST 257.18 FEET; THENCE NORTH 02°34'54" WEST 238.20 FEET; THENCE SOUTH 89°28'40" EAST 338.19 FEET; THENCE NORTH 80°12'21" EAST 98.83 FEET; THENCE NORTH 89°17'15" EAST 117.83 FEET; THENCE NORTH ALONG THE ARC OF A 93.00 FOOT RADIUS CURVE TO THE LEFT 38.45 FEET (CENTRAL ANGLE OF 23°42'22" AND A CHORD BEARING NORTH 25°51'15" EAST 38.18 FEET) TO THE POINT OF BEGINNING.

CONTAINING: 8.22 ACRES

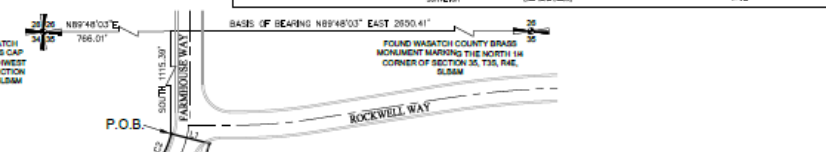
## STATE OF BEARING

STATE OF BEARING IS NORTH 89°40'31" EAST 2850.41 FEET (MEASURED) BETWEEN THE NORTHWEST CORNER OF SECTION 35, TOWNSHIP 3 SOUTH, RANGE 4 EAST, SALT LAKE BASE AND MERIDIAN AND THE NORTH 1/4 CORNER OF SAID SECTION 35.

## SURVEYOR'S CERTIFICATE

IN ACCORDANCE WITH SECTION 10-24-603 OF THE UTAH CODE I, KEVIN BULLS, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR HOLDING LICENSE NUMBER 112377398 IN ACCORDANCE WITH TITLE 36, CHAPTER 22, OF THE PROFESSIONAL ENGINEERS AND PROFESSIONAL LAND SURVEYORS LICENSING ACT.

I FURTHER CERTIFY THAT I HAVE COMPLETED A SURVEY OF THE PROPERTY DESCRIBED ON THE PLAT IN ACCORDANCE WITH SECTION 11-23-17 OF THE UTAH CODE, AND HAVE VERIFIED ALL MEASUREMENTS, AND HAVE PLACED MONUMENTS AS REQUIRED ON THE PLAT.



## LINE TABLE

| LINE | LENGTH | DIRECTION   |
|------|--------|-------------|
| L1   | 42.00' | S75°59'28"E |
| L2   | 53.00' | S89°17'15"W |
| L3   | 20.78' | S01°33'41"W |
| L4   | 28.00' | S90°00'00"W |

## CURVE TABLE

| CURVE | RADIUS  | LENGTH  | DELTA     | CHD BEARING | CHD LENGTH |
|-------|---------|---------|-----------|-------------|------------|
| C1    | 135.00' | 27.20'  | 11°32'39" | S19°47'52"W | 27.15'     |
| C2    | 83.00'  | 38.45'  | 23°42'22" | N25°51'13"E | 38.18'     |
| C3    | 110.00' | 57.71'  | 30°13'59" | S29°02'20"W | 57.05'     |
| C4    | 110.00' | 88.18'  | 45°55'53" | S67°02'04"W | 85.94'     |
| C5    | 137.00' | 198.49' | 90°00'00" | S45°00'00"W | 178.61'    |

## COMMON AREA AND LIMITED COMMON IS A PUBLIC UTILITY EASEMENT

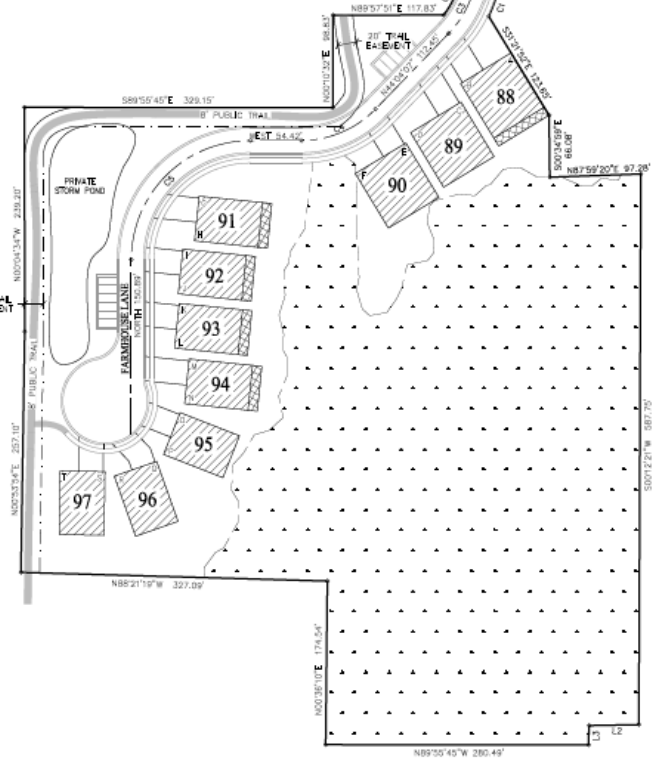
ALL COMMON AREA AND LIMITED COMMON IS INDICATED AS A PUBLIC UTILITY EASEMENT INCLUDING A STORM DRAIN EASEMENT FOR FLOODS AND RETENTION POND.

## STORM WATER RETENTION POND NOTE:

HOME OWNERS ASSOCIATION SHALL NOT ALTER, INTERFERE OR CHANGE THE GRADING, ELEVATION OR LANDSCAPING IN THE STORM WATER RETENTION POND.

## ERIGEMENT NOTICE:

NEWBY IRRIGATION COMPANY SHALL HAVE THE RIGHT TO ACCESS ALL NEWBY IRRIGATION COMPANY DITCHES WHICH INCLUDES A 10 FOOT EASEMENT ALONG BOTH SIDES OF THE DITCH IF BOTH SIDES OF THE DITCH ARE WITH INBOUND PARCELS FOR ACCESS AND MAINTENANCE.



**RESERVATION OF COMMON AREA**  
THE OWNER HAS DESIGNATED HEREIN CERTAIN COMMON AREAS INTENDED FOR THE USE BY THE OWNERS, THEIR GUESTS, AND INVITEES, AND ARE HEREBY RESERVED FOR THEIR COMMON USE AND ENJOYMENT AS PROVIDED IN THE DECLARATION OF COVENANTS AND RESTRICTIONS OF THE WATTS REMUND FARMS P.U.D. AND AS ENFORCED BY THE HOME OWNERS ASSOCIATION.

**OWNER'S DEDICATION**  
KNOW ALL MEN BY THESE PRESENTS THAT THE UNDERSIGNED OWNER(S) OF THE PROPERTY DESCRIBED HEREIN, HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO PADS, PRIVATE STREETS AND DRIVEWAYS, EASEMENTS, LIMITED COMMON, AND COMMON AREA AND IN ACCORDANCE WITH THE TERMS AND CONDITIONS OF THE DECLARATION HEREBY DEDICATE THOSE AREAS LABELED AS PRIVATE STREETS AND DRIVES, EASEMENTS, LIMITED COMMON, AND COMMON AREA, FOR THE CONSTRUCTION AND MAINTENANCE OF PUBLIC UTILITIES AND EMERGENCY VEHICLE ACCESS.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_  
BY: \_\_\_\_\_  
MIDWAY SPRINGS LLC SERIES II

**ACKNOWLEDGMENT**  
STATE OF UTAH } S.S.  
COUNTY OF WASATCH }  
ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_, PERSONALLY APPEARED BEFORE ME \_\_\_\_\_ WHO IS FULLY ACKNOWLEDGED TO ME THAT HE/SHE DID EXECUTE THE SAME IN THE CAPACITY INDICATED.

MY COMMISSION EXPIRES: \_\_\_\_\_ NOTARY PUBLIC

**ACCEPTANCE BY MIDWAY CITY**  
THE CITY COUNCIL OF MIDWAY CITY, WASATCH COUNTY, STATE OF UTAH, HEREBY APPROVES THIS PLANNED UNIT DEVELOPMENT AND ACCEPTS THE DEDICATION OF EASEMENTS AND PUBLIC RIGHTS-OF-WAY HEREOF SHOWN.

THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_  
APPROVED: \_\_\_\_\_ MAYOR (SEAL) (SIGN)  
APPROVED: \_\_\_\_\_ CITY ATTORNEY (SEAL) (SIGN)

**PLANNING COMMISSION APPROVAL**  
APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_ BY THE \_\_\_\_\_ CITY PLANNING COMMISSION  
PLANNING DIRECTOR CHAIRMAN, PLANNING COMMISSION

**WATTS REMUND FARMS PUD PHASE 5**  
PLANNED UNIT DEVELOPMENT, MIDWAY CITY, WASATCH COUNTY, STATE OF UTAH  
SCALE 1" = \_\_\_\_\_ FEET

**COUNTY SURVEYOR'S CERTIFICATE**  
APPROVED AS TO FORM ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_  
COUNTY SURVEYOR

DATE \_\_\_\_\_  
MIDWAY SANITATION DISTRICT  
DATE \_\_\_\_\_  
MIDWAY IRRIGATION COMPANY  
COUNTY RECORDER

|               |                    |                   |                    |
|---------------|--------------------|-------------------|--------------------|
| RECORDER SEAL | NOTARY PUBLIC SEAL | UTY ENGINEER SEAL | SEAL-RECORDED SEAL |
|---------------|--------------------|-------------------|--------------------|

WATTS REMUND FARMS PUD PHASE 5 PLAT - 11 MAY 2023

# ITEMS OF DISCUSSION

- Sensitive lands protection
  - Wetlands must be fenced with temporary construction fencing during construction of infrastructure and during home construction
- U. S. Army Corps of Engineers Letter
  - Approval has been received to encroach on 0.034 acres of wetlands in Phase 5
- Trails
  - North-south paved public trail
  - East-west soft surface private trail with a public access easement

# WATER BOARD RECOMMENDATION

Phase 5 Water Rights per the 1/6/2020  
Water Board Meeting:

Inside: 8.0/ac-ft

Irrigation: 6.75 ac-ft

Total Required: 14.75 ac-ft

# POSSIBLE FINDINGS

- The proposed plan does meet the requirements of the code for a PUD in the R-1-15 zone
- The public trail system in the development benefits the entire community by creating trails that connect to existing trails and helps complete the master trail plan
- The proposal does comply with the approved revised master plan for this phase
- 5.57 acres of open space must be created as part of the development, which will be noted on the plat and restricted from future building or development.
- A wetlands area of 0.034 acres will be encroached upon in phase 5 and a letter has been received from the U. S. Army Corps of Engineers approving the encroachment.

# RECOMMENDED CONDITION

1. The applicant will be required to survey the boundary of the wetlands and then install and maintain temporary construction fencing while site improvements are being installed and while homes are under construction.