

CITY COUNCIL MEETING STAFF REPORT

DATE OF MEETING:	March 19, 2024
NAME OF PROJECT:	Springer Farms
PROPERTY OWNER:	Springer Farms Land Holdings LLC
AUTHORIZED REPRESENTATIVE:	Travis Nokes
AGENDA ITEM:	Preliminary Approval to Subdivide Springer Farms Commercial Planned Unit Development – Condominium of Unit 4
AGENDA ITEM: LOCATION OF ITEM:	Farms Commercial Planned Unit

ITEM: 15

Travis Nokes is requesting Preliminary Approval to subdivide the Robey Building of Springer Farms into a commercial condominium. The proposal would subdivide the Robey (Unit 4) building into ten units. The Robey Building will consist of seven short-term rental units on the upper floor and three commercial units on the lower floor. The property is located at 65 N 200 W and is in the C-3 zone.

BACKGROUND:

Travis Nokes, representative for Springer Farms Land Holdings LLC, is proposing preliminary approval to subdivide Unit 4 of the Springer Farms Commercial Planned Unit Development into ten condominiums. The condominiums will consist of seven short-term rental units on the upper floor and three commercial units on the lower floor. This will allow the owner to sell each of the ten units to different entities that will be governed by the Codes, Covenants, and Restrictions (CC&Rs) of Springer Farms.

Commercial Condominiums are a conditional use in the C-3 zone. Currently, Springer Farms is a four-unit commercial planned unit development. The four units are four building sites surrounded by common area that the four units all own in common. What is being proposed is to add a plat to the recorded Springer Farms Subdivision. The new plat will be a condominium plat of Unit 4 that will divide it from one unit to ten units. Unit 4, which currently has one tax identification number, will have ten tax identification numbers. Likewise. Springer Farms, which currently has four tax identification numbers, will have 14 tax identification numbers. It is likely that Units 1-3 will also go through the same process in the future.

Unit 4 is currently under construction. There are different building code requirements for a condominium building as compared to a building in one ownership. It is staff's understanding that the building under construction is being built to the required condominium standards. As mentioned earlier, Springer Farms CC&Rs will govern all the units in the development. The landscaping and parking areas are recorded as common area and will be maintained by the Property Owners' Association.

The site is located to the west of Town Square and fronts on 200 West. The property is in the C-3 zone and commercial condominiums are allowed as a conditional use. The property is located in an important area of Midway because it surrounds the Town Square. The C-3 zone, that includes and surrounds the Town Square, is distinct from the C-2 zone which covers the majority of Main Street heading to the east. The difference between the two zones is the C-3 zone is more restrictive than the C-2 zone. For example, where the C-2 zone allows for several uses associated with vehicles such as gasoline stations and car washes, the C-3 zone is more restrictive and does not allow these types of uses. The C-3 zone is focused on restaurants, retail, offices, and other similar types of commercial uses. The purpose of this distinction is to create a walkable core to Midway that is a gathering area for the community. The City Council has recently reviewed a proposed master plan for the Town Square that will help the Town Square to be more usable year-round and a gathering place for the community. The City is also interested in compatible uses developing around the Town Square that will complement the area and create an active and vibrant Midway core. The Springer Village will help create that core with its eateries, commercial, and nightly rentals.

There are existing residents and commercial businesses in the area that will be impacted by the development and careful planning must be taken to mitigate negative impacts wherever reasonably possible. Because commercial planned unit developments are a conditional use, the City Council may require reasonable conditions to mitigate negative impacts to the neighbors and the area. Conditional uses are governed by the following standards:

(a) A conditional use shall be approved if reasonable conditions are proposed, or can be imposed, to mitigate the reasonably anticipated detrimental effects of the proposed use in accordance with applicable standards.

(b) If the reasonably anticipated detrimental effects of a proposed conditional use cannot be mitigated by the proposal or the imposition of reasonable conditions to achieve compliance with applicable standards, the conditional use may be denied.

The original approval of Springer Farms as a Conditional Use has the following conditions required as part of the approval and will continue to be required if Unit 4 is subdivided:

- Fencing be installed per the proposed fencing plan and compliance with City requirements.
- The windows facing off the property, on the second floor of any buildings, had to have window coverings installed on them.

LAND USE SUMMARY:

- C-3 zone
- 1.26 acres
- Unit 4 is 4,747 square feet (building footprint)
- Unit 4 will be a condominium plat
- Unit Four:
 - Three lower floor commercial units
 - Seven short-term rentals (will not include kitchens or individual laundry facilities)
- Private driveways, parking, and landscaping that will be common area and will be maintained by the Property Owners' Association

ANALYSIS:

Architectural Theme – The developer is required to receive architectural approval of all structures in a commercial planned unit development. The developer has presented renderings to the Visual Architecture Committee and has received a recommendation of approval for Unit 4.

Parking – The developer is providing 50 stalls in the proposed site plan. Based on the information provided, 44 stalls are required for the proposal (13 stalls for short-term rentals, 6.4 stalls for the west building lower floor and 4 stalls for the west building upper floor, 10.2 stalls for the south building lower floor, and 4.25 stalls for the restaurant, and 5.8 stalls for the north building).

Height of structures – Structures cannot exceed 35' in height, measured from natural grade to the roof. Architectural elements may exceed the 35' limit as per code.

Transient Rental Overlay District – The transient rental overlay district (TROD) covers the entire project area. The proposal is to create 13 short-term rental units (seven in Unit4). The units will not contain kitchens or laundry facilities.

Property Owners' Association – A Property Owners' Association (POA) is required for any planned unit developments. It is the POA's responsibility to maintain common areas that include landscaping, driveways, and parking areas. It is also possible that the POA will be required to maintain the outer walls, roofs, and shared areas within the buildings such as hallways and stairs. The developer has submitted the proposed Declaration of Covenants, Conditions and Restrictions which will be reviewed by the City Attorney.

Landscaping and Fencing Plan – A landscaping plan has been submitted to the City for staff and VAC review. The landscaping and fencing may help mitigate nuisance issue such as light and noise for surrounding residences. Normally fencing is not a requirement for commercial development but since a commercial condominium is a conditional use permit, fencing has been required to help mitigate nuisances. Fencing has been required along the southside of the parking lot and along the east side of the parking lot. The fencing will help shield vehicle lights from shining on the surrounding homes located in the commercial zone.

Lighting Plan – The applicant has submitted a statement that all lighting will have full cut-off as required by code. This requirement includes street lighting, commercial building lighting, and parking areas lighting. The purpose of the code is to assure the lights will comply the requirement of having full cut-off and to also assure that no light trespass will occur onto neighboring properties.

Dumpster and Snow Storage Plan – The developer has submitted a dumpster and snow storage plan. Dumpsters are required to be located in enclosures and the enclosures must be reviewed by the VAC. The applicant has also submitted a "Will-Serve" letter from Wasatch County Solid Waste Disposal District.

PLANNING COMMISSION RECOMMENDATION:

Motion: Commissioner Osborne: I make a motion that we recommend approval to subdivide the Robey Building of Springer Farms into a commercial condominium. The proposal would subdivide the Robey building into ten units. The Robey Building will consist of seven short-term rental units on the upper floor and three commercial units on the lower floor. The property is located at 65 N 200 W and is in the C3 zone. Accept the finding in the staff report with no conditions. Seconded: Commissioner Wardle Chairman Nicholas: Any discussion on the motion? Chairman Nicholas: All in favor. Ayes: Commissioners: Lineback, Osborne, Wardle, Miles Nays: None Motion: Passed

VISUAL AND ARCHITECTURAL COMMITTEE RECOMMENDATION:

The Visual and Architectural Committee (VAC) reviewed renderings for the proposed development during their meeting on December 14, 2022. Signage will need to be reviewed and approved when more information is submitted.

POSSIBLE FINDINGS:

- The proposal will benefit the City financially by creating a greater tax base and by providing more commercial options to the community.
- The proposal may help the City better comply with State requirements regarding the ability to collect resort tax.
- Commercial condominium developments are a conditional use in the C-3 zone.

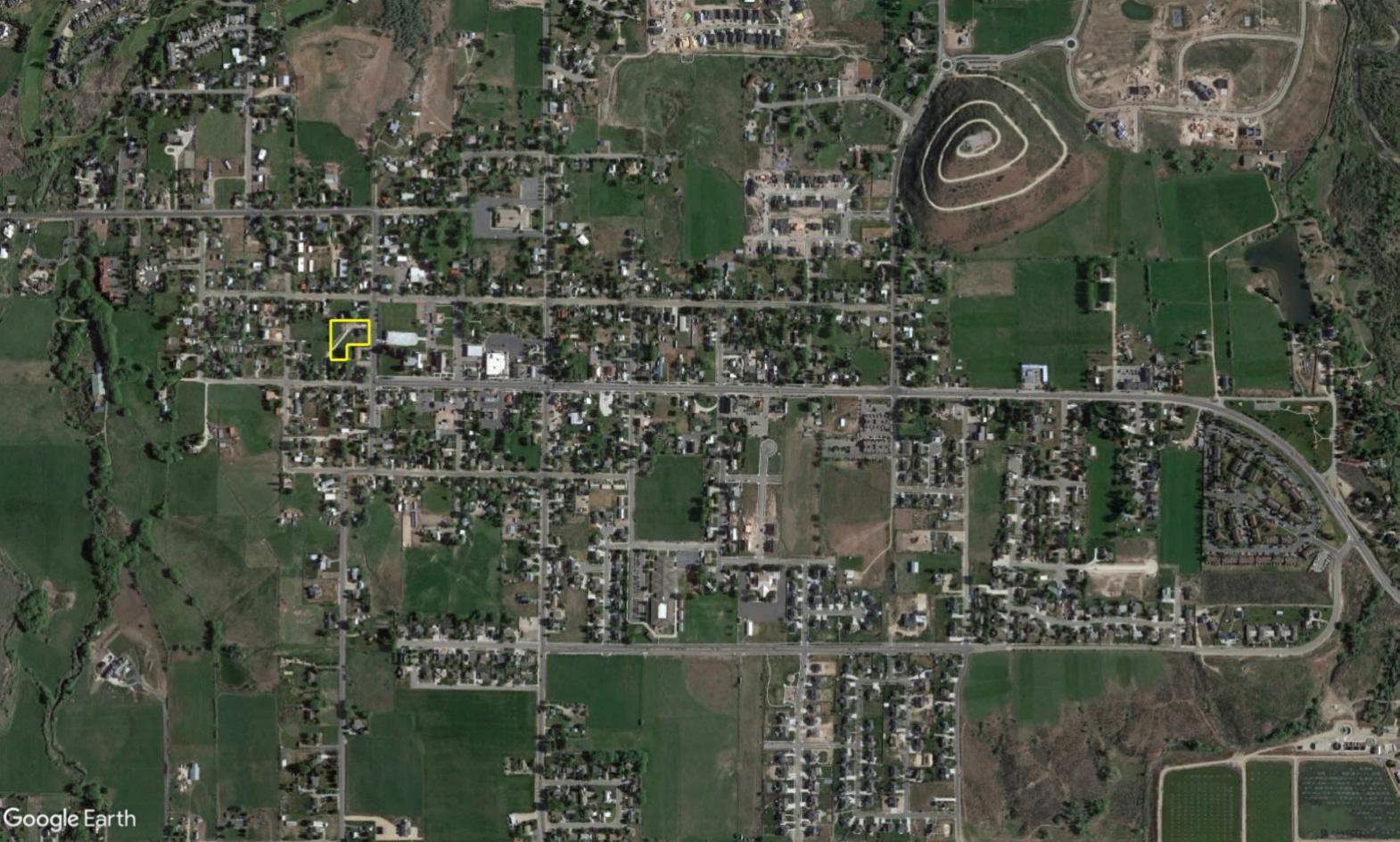
ALTERNATIVE ACTIONS:

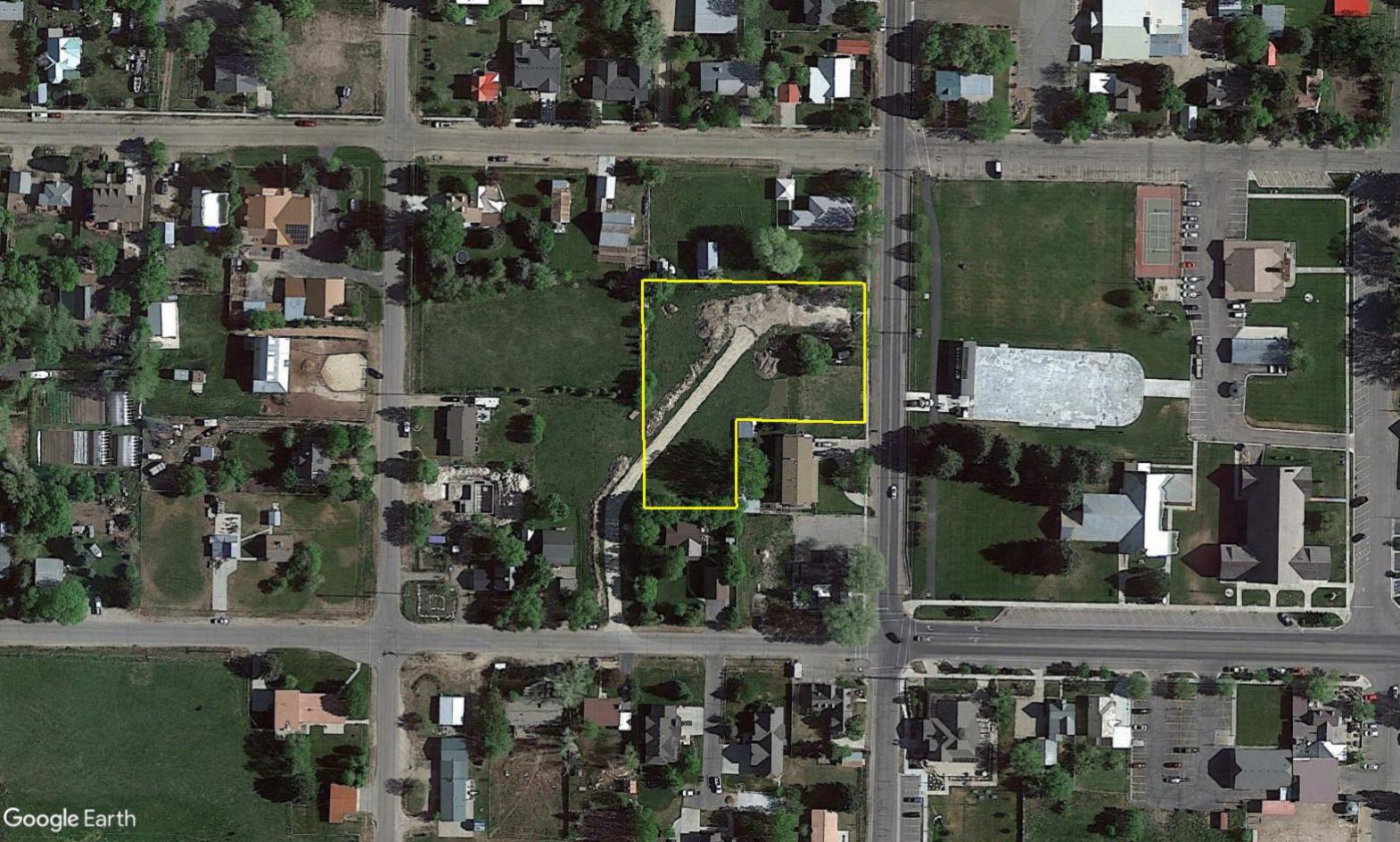
- 1. <u>Approval (conditional)</u>. This action can be taken if the City Council finds the proposal complies with the requirements of the code.
 - a. Accept staff report
 - b. List accepted findings
 - c. Place condition(s) if needed

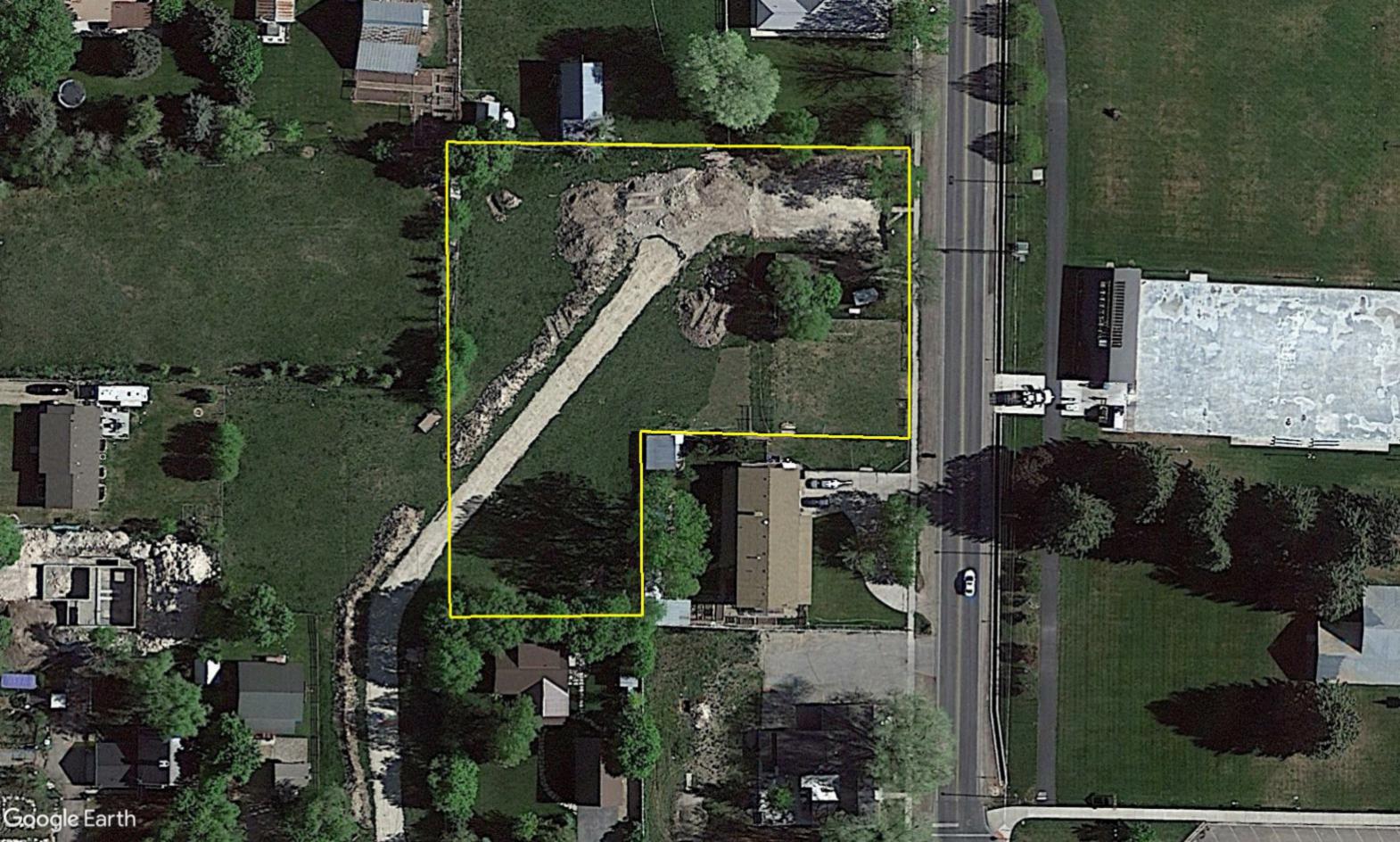
- 2. <u>Continuance</u>. This action can be taken if the City Council that there are unresolved issues.
 - a. Accept staff report
 - b. List accepted findings
 - c. Reasons for continuance
 - i. Unresolved issues that must be addressed
 - d. Date when the item will be heard again
- 3. <u>Denial</u>. This action can be taken if the City Council finds that the request does not comply with the requirements of the code.
 - a. Accept staff report
 - b. List accepted findings
 - c. Reasons for denial

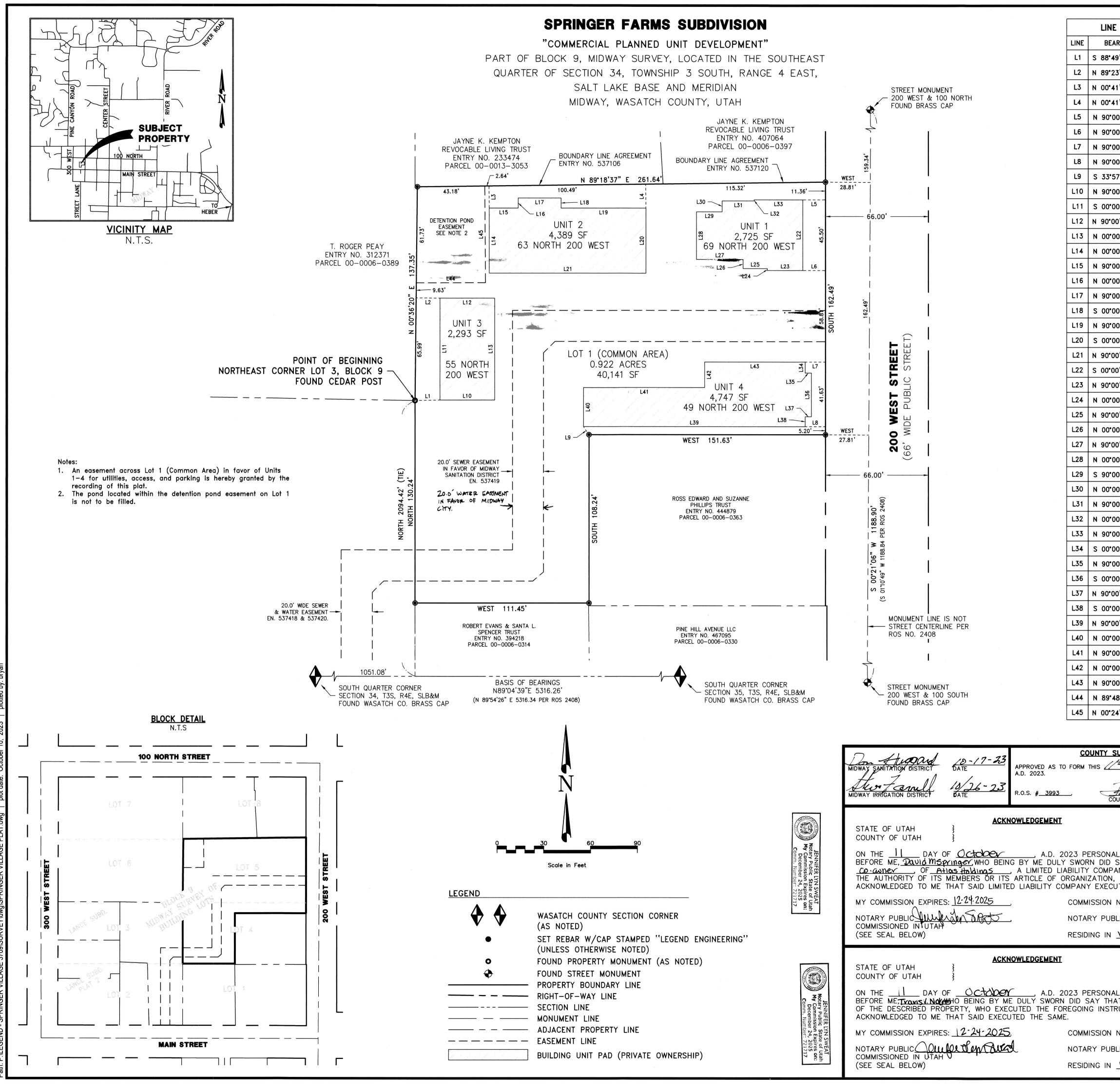
PROPOSED CONDITIONS:

1. None









	BOUNDARY DESCRIPTION		
	BEGINNING AT THE NORTHEAST CORNER OF LOT 3, BLOCK 9, MIDWAY SURVEY OF BUILDING LOTS, SAID POINT BEING NORTH 89'04'39" EAST 1051.08 FEET AND NORTH 2094.42 FEET		
RING LENGTH 9'24" W 15.94	FROM THE SOUTH QUARTER CORNER OF SECTION 34, TOWNSHIP 3 SOUTH, RANGE 4 EAST, SALT LAKE BASE AND MERIDIAN; THENCE NORTH 0°36'20" EAST 137.35 FEET; THENCE		
3'40" W 15.25	NORTH 89'18'37" EAST 261.64 FEET; THENCE SOUTH 162.49 FEET; THENCE WEST 151.63 FEET; THENCE SOUTH 108.24 FEET; THENCE WEST 111.45 FEET; THENCE NORTH 130.24		
1'23" W 14.17	FEET TO THE POINT OF BEGINNING.		
1'23" W 15.38	CONTAINS 1 LOT AND 4 UNITS 54,294 SQUARE FEET OR 1.246 ACRES, MORE OR LESS.		
0'00" E 14.59	BASIS OF BEARINGS		
0'00" E 14.59	THE BASIS OF BEARINGS FOR THIS SURVEY WAS ESTABLISHED AS NORTH 89'04'39" EAST BETWEEN THE SOUTH QUARTER CORNER OF SECTION 34 AND SECTION 35, TOWNSHIP 3		
0'00" E 13.01 0'00" E 13.01	SOUTH, RANGE 4 EAST, SALT LAKE BASE AND MERIDIAN		
7'09" E 6.27	SURVEYOR'S CERTIFICATE		
0'00" E 35.00	I, DON K. ROUNDY, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR IN THE STATE OF UTAH HOLDING CERTIFICATE NUMBER 501180 AS PRESCRIBED BY TITLE 58, CHAPTER		
0'00" E 65.50	22 OF THE PROFESSIONAL ENGINEERS AND LAND SURVEYORS LICENSING ACT. I FURTHER CERTIFY THAT BY THE AUTHORITY OF THE OWNERS, I HAVE MADE AN ACCURATE SURVEY OF THE TRACT OF LAND SHOWN AND DESCRIPED HEREON IN ACCORDANCE WITH SECTION		
0'00" W 35.00	THE TRACT OF LAND SHOWN AND DESCRIBED HEREON IN ACCORDANCE WITH SECTION 17-23-17 OF THE UTAH STATE CODE, HAVE VERIFIED ALL MEASUREMENTS SHOWN AND HAVE SUBDIVIDED SAID PROPERTY INTO LOTS AND UNITS HEREAFTER TO BE KNOWN AS		
0'00" E 65.50	SUBDIVIDED SAID PROPERTY INTO LOTS AND UNITS HEREAFTER TO BE KNOWN AS		
0'00" E 41.89	AND THAT THE SAME HAS BEEN SURVEYED AND MONUMENTS HAVE BEEN PLACED ON THE		
0'00" E 18.59 0'00" E 6.48	GROUND AS REPRESENTED ON THIS PLAT.		
0'00" E 27.56	Date: October 6, 2023		
0'00" E 6.48	Don K. Roundy P.L.S. No. 501180		
0'00" E 54.35			
0'00" E 41.89	TE OF UT OUND		
0'00" W 100.50	OWNER'S DEDICATION		
0'00" W 45.50 0'00" W 22.67	KNOW ALL MEN BY THESE PRESENTS THAT I / WE, THE UNDERSIGNED OWNER(S) OF THE		
0'00" W 22.67 0'00" E 1.25	ABOVE DESCRIBED TRACT OF LAND, HAVING CAUSED THE SAME TO BE SUBDIVIDED, HEREAFTER TO BE KNOWN AS THE		
0'00" W 15.50	SPRINGER FARMS SUBDIVISION		
0'00" E 5.92	DO HEREBY DEDICATE FOR PERPETUAL USE OF THE PUBLIC ALL PARCELS OF LAND, STREETS AND EASEMENTS SHOWN ON THIS PLAT AS INTENDED FOR PUBLIC USE.		
0'00" W 30.00	AND EASEMENTS SHOWN ON THIS PLAT AS INTENDED FOR PUBLIC USE. IN WITNESS WHEREOF I HAVE HEREUNTO SET MY HAND THIS DAY OF OCTODEY 2023.		
0'00" E 30.58	ATLAS HOLDINGS, LLC		
0'00" E 16.48	TITLE CO-OWNER		
0'00" E 7.04 0'00" E 20.59			
0'00" E 0.71	PRINT NAME David M SPRINGER		
0'00" E 31.10	SIGNATURE		
0'00" E 7.15	TRAVIS V. NOKES		
0'00" E 4.00			
0'00" E 27.96	TITLE <u>Co-owner</u> .		
0'00" W 4.00 0'00" E 6.52	PRINT NAME TRAVIS V. Nokes		
0'00" W 142.12	SIGNATURE		
0'00" E 25.12			
0'00" E 77.62	ACCEPTANCE BY MIDWAY CITY THE CITY COUNCIL OF MIDWAY CITY, WASATCH COUNTY, STATE OF UTAH, HEREBY APPROVES THIS		
0'00" E 16.50	SUBDIVISION SUBJECT TO THE CONDITIONS AND RESTRICTIONS STATED HEREON, AND HEREBY ACCEPTS THE DEDICATION OF ALL LOTS, STREETS, EASEMENTS, AND OTHER PARCEL OF LAND INTENDED FOR PUBLIC		
0'00" E 64.50	PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC, THIS 37 Day of <u>November</u> 2023.		
8'06" E 44.27 4'20" W 62.10	APPROVED WYOR ATTEST: CLERK-RECORDER		
+ 20 W 02.10	(SEE SEAL BELOW)		
	APPROVED In share & APPROVED OTh		
DAY OF CALCO	CITY ENGINEER (SEE SEAL BELOW)		
DAY OF Color,	PLANNING APPROVAL		
UNTY SURVEYOR	APPROVED THIS 25th DAY OF October, A.D. 2023, BY THE MIDWAY CITY PLANNING COMMISSION.		
	What the When Coff Nicholas		
	PLANNING DIRECTOR OF AIRMAN SURVEYOR SEAL CITY ENGINEER SEAL CLERK/RECORDER SEAL		
	BOFEST		
LLY APPEARED SAY THAT HE IS THE	No. 501180		
ANY, AND THAT BY AND HE JTED THE SAME.	DON KURT OS		
NUMBER 721717.			
LIG emilerelen Erred	OF UTAH		
Wasaton_county	LEGEND ENGINEERING		
	LEGEND ENGINEERING 52 WEST 100 NORTH HEBER CITY, UT 84032		
	ENGINEERING PHONE: 435-654-4828 www.legendengineering.com		
LLY APPEARED AT HE IS THE OWNER			
	Recorder 6/26/23		
RUMENT AND	ENTRY # 538305 BOOK 1457 PAGE 1085 SCALE: $1''=40'$		
	ENTRY # 538305 BOOK 1457 PAGE 1085 DATE NOV 1 2023 TIME 11:22 AM FEE # 58.00 FOR ATLAS HOLDING LLC/ TRAVIS NOKES PAGE:		
RUMENT AND	ENTRY # 538305 BOOK 1457 PAGE 1085 DATE Nov 1 2023 TIME 11:22 AM FEE # 58.00 EOD ATLAS HOLDING 116 / TRAVIS NOV 55		



GENERAL NOTES

- INTERIOR WALLS AND CEILING FINISHES IN EXIT ACCESS CORRIDORS, ROOMS AND ENCLOSED SPACES SHALL BE NOT LESS THAN A CLASS 'C' RATING, SEE IBC 803.5. INTERIOR FLOOR FINISHES IN VERTICAL EXITS, EXIT PASSAGEWAYS AND EXIT ACCESS CORRIDORS SHALL NOT BE LESS THAN A CLASS II RATING, SEE IBC 804.4.
- ALL CONSTRUCTION SHALL MEET THE CONSTRUCTION STANDARDS FOR A TYPE VB, SPRINKLED BUILDING IN ACCORDANCE WITH INTERNATIONAL BUILDING CODE 2021 EDITION. CONSTRUCTION SHALL MEET THE REQUIREMENTS FOR THE CITY OF MIDWAY, STATE OF UTAH.
- CONTRACTOR TO MAINTAIN A COMPLETE, TOP QUALITY, "AS BUILT" DRAWINGS FOR SUBMITTAL TO ARCHITECT UPON COMPLETION OF CONSTRUCTION.
- WOOD AND COMBUSTIBLE MATERIALS IN CEILINGS AND CONCEALED SPACES IS TO BE CONSTRUCTED PER IBC 603.
- NO VINYL ASBESTOS OR OTHER HAZARDOUS MATERIALS SHALL BE INSTALLED AS PART OF THIS WORK. ALL STRICTLY REGULATED MATERIALS SHALL MEET ALL STATE AND FEDERAL REGULATIONS.
- ALL FURRING AND BLOCKING SHALL MEET THE REQUIREMENTS OF IBC 603
- THE CONTRACTOR SHALL THOROUGHLY EXAMINE THE PREMISES AND SHALL BASE HIS BID ON THE EXISTING CONDITIONS. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES BETWEEN THE DRAWINGS AND THE ACTUAL FIELD CONDITIONS. EACH TRADE SHALL EXAMINE THE PREMISES PRIOR TO COMMENCING HIS WORK TO INSURE THAT CONDITIONS ARE APPROPRIATE FOR HIS WORK TO COMMENCE. AREAS NOT APPROPRIATE SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT. COMMENCING WORK IMPLIES ACCEPTANCE OF EXISTING CONDITIONS.
- COORDINATE ALL DIMENSIONS, CONDITIONS AND DETAILS WITH STRUCTURAL, CIVIL, LANDSCAPE, MECHANICAL, PLUMBING, ELECTRICAL, FIRE PROTECTION DRAWINGS AND MATERIAL SUPPLIERS.
- ALL SECURITY DEVICES MUST BE PHYSICALLY INTEGRATED. FREESTANDING PEDESTALS OR HANGING DEVICES CONTAINING SENSOR EQUIPMENT ARE PROHIBITED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL MATERIALS AND WORKMANSHIP IN ACCORDANCE WITH THE APPLICABLE INTERNATIONAL BUILDING CODE. HANDICAPPED-ACCESSIBILITY CODE, AND ALL APPLICABLE ORDINANCES INCLUDING STATE AND LOCAL BUILDING CODES AND REQUIREMENTS.
- THE CONTRACTOR SHALL CONFIRM IN WRITING, APPROXIMATE ON-SITE DELIVERY DATES FOR ALL CONSTRUCTION ITEMS AND MATERIALS AS REQUIRED BY THE CONSTRUCTION DOCUMENTS, AND SHALL NOTIFY THE ARCHITECT IN WRITING OF ANY DELAYS AFFECTING OCCUPANCY.
- SUBSTITUTIONS, REVISIONS AND/OR CHANGES MUST HAVE PRIOR WRITTEN APPROVAL BY THE ARCHITECT AND OWNER.
- THE CONTRACTOR SHALL VERIFY THAT NO CONFLICTS EXIST IN THE LOCATION OF ANY AND ALL WORK INCLUDING BUT NOT LIMITED TO MECHANICAL, ELECTRICAL, TELEPHONE AND LIGHTING (INCLUDING PIPING, DUCTWORK AND CONDUIT,) AND THAT ALL CLEARANCES FOR INSTALLATION AND MAINTENANCE ARE PROVIDED.
- NO WORK DEFECTIVE IN CONSTRUCTION OR QUALITY, OR DEFICIENT IN ANY REOUIREMENT OF THE CONTRACT DOCUMENTS WILL BE ACCEPTABLE. THE OWNER'S OR ARCHITECT'S FAILURE TO DISCOVER OR POINT OUT DEFICIENCIES OR DEFECTS DURING CONSTRUCTION SHALL NOT RELIEVE THE CONTRACTOR OF RESPONSIBILITIES. DEFECTIVE 'HIN THE TIME REOUIRED BY GUARANTEES SHALL BE REPLACED B' WORK CONFORMING TO THE INTENT OF THE CONTRACT. NO PAYMENT. EITHER PARTIAL OR FINAL SHALL BE CONSTRUED AS AN ACCEPTANCE OF DEFECTIVE WORK OR IMPROPER MATERIALS.
- THE CONTRACTOR SHALL TAKE CARE NOT TO DAMAGE EXISTING CONSTRUCTION AND SHALL BE RESPONSIBLE FOR REPAIRING ALL DAMAGES CAUSED BY THEMSELVES OR BY THEIR SUB-CONTRACTORS.
- THE CONTRACTOR SHALL REVIEW, APPROVE, STAMP, AND SUBMIT TO THE ARCHITECT, WITH REASONABLE PROMPTNESS, AND IN SUCH SEQUENCE AS TO CAUSE NO DELAY IN THE WORK, PRODUCT DATA, SHOP DRAWINGS AND SAMPLES FOR THE PROJECT
- BY APPROVING STAMPING, AND SUBMITTING SHOP DRAWINGS, PRODUCT DATA AND SAMPLES. THE CONTRACTOR REPRESENTS THAT THEY HAVE DETERMINED AND VERIFIED MATERIALS, FIELD MEASUREMENTS, AND FIELD CONSTRUCTION CRITERIA RELATED THERETO AND THAT THEY HAVE CHECKED AND COORDINATED THE INFORMATION WITHIN SUCH SUBMITTALS WITH THE REQUIREMENTS OF THE WORK AND CONTRACT DOCUMENTS.
- THE CONTRACTOR SHALL NOT BE RELIEVED OF RESPONSIBILITY FOR ANY DEVIATION FROM THE REQUIREMENTS OF THE CONTRACT DOCUMENTS BY THE ARCHITECT'S REVIEW OF THE SHOP DRAWINGS, PRODUCT DATA, OR SAMPLES.
- THE CONTRACTOR SHALL ASSIST IN THE COORDINATION OF "N.I.C." ITEMS INCLUDING FURNITURE INSTALLATION, EQUIPMENT INSTALLATION, TELEPHONE WORK, ETC.
- ALL PARTITIONING AND CEILINGS SHALL BE BRACED IN COMPLIANCE WITH THE REQUIREMENTS OF ALL APPLICABLE SEISMIC AND BUILDING CODES.

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- THE CONTRACTOR SHALL PROVIDE METAL BACKING PLATES, OR FIRE TREATED WOOD BLOCKING, AS REQUIRED IN WALLS BEHIND ALL WALL MOUNTED ITEMS OF CASEWORK, ACCESSORIES, ETC.
- THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ALL FIELD DIMENSIONS INDICATED BY "VERIFY" IN THE CONTRACT DOCUMENTS AND SHALL REVIEW ANY DISCREPANCIES WITH THE ARCHITECT BEFORE PROCEEDING.
- W. ALL CLEAR (CLR.) DIMENSIONS ARE NOT ADJUSTABLE WITHOUT ARCHITECT'S APPROVAL
- PRIOR TO CONSTRUCTION, DISCREPANCIES BETWEEN THE ARCHITECTURAL DRAWINGS, ENGINEERING DRAWINGS AND EXISTING CONDITIONS SHALL BE REPORTED TO THE ARCHITECT.
- Y. DIMENSIONS TAKE PRECEDENCE OVER SCALE OF THE DRAWING. DRAWINGS SHOULD NOT BE SCALED WITHOUT APPROVAL OF ARCHITECT.
- ALL TOILET ROOMS AND ELEVATIONS SHALL BE IN COMPLIANCE WITH CURRENT APPLICABLE CODES AS PER THESE DRAWINGS.
- AA. ALL DRAWINGS, NOTES, AND SPECIFICATIONS ARE CONSIDERED COMPLIMENTARY AND WHAT IS CALLED FOR BY ONE WILL BE BINDING TO ALL. ANY WORK SHOWN, OR REFERRED TO, IS BINDING TO ALL.
- BB ARCHITECT SHALL NOT BE LIABLE FOR WORK. REGARDING THE IDENTIFICATION, REPAIR REMOVAL OR ENCAPSULATION OF ASBESTOS OR OTHER HAZARDOUS MATERIALS. CONTRACTOR SHALL NOTIFY ARCHITECT AND OWNER IF ANY MATERIALS ENCOUNTERED REQUIRING TESTING OR ABATEMENT. ALL ASBESTOS IDENTIFICATION AND REMOVAL IS TO BE COMPLETED UNDER SEPARATE CONTRACT AND PRIOR TO COMMENCEMENT OF DEMOLITION AND/OR REMODELING WORK DESCRIBED IN OUR DOCUMENTS.

- **ABBREVIATIONS**
- AB ANCHOR BOLT ABV ABOVE
- ADJ ADJUSTABLE AFF ABOVE FINISH FLOOR
- AIA AMERICAN INSTITUTE OF ARCHITECTS ALUM ALUMINUM
- ARCH ARCHITECTURAL
- ASTM AMERICAN SOCIETY FOR TESTING MATERIALS DBA DEFORMED BAR ANCHOR
- BD BOARD
- BITUM BITUMINOUS BLDG BUILDING
- BM BENCHMARK
- BO BOTTOM OF BP BASE PLATE
- BRG BEARING
- BTWN BETWEEN CER CERAMIC
- CJ CONTROL / CONSTRUCTION JOINT CLG CEILING
- CLR CLEAR
- CMU CONCRETE MASONRY UNIT CONC CONCRETE
- CONT CONTINUOUS
- CONST CONSTRUCTION COORD COORDINATE
- CP CAP PLATE
- CTJ CONTRACTION JOINT DBL DOUBLE
- DEPT DEPARTMENT DET DETAIL
- DWGS DRAWINGS
- EA EACH EJ EXPANSION JOINT
- ELEV ELEVATION
- EQ EQUAL EW EACH WAY
- EXIST EXISTING
- EXPAN EXPANSION EXT EXTERIOR
- EWC ELECTRIC WATER COOLER
- FD FLOOR DRAIN FDTN FOUNDATION
- FE FIRE EXTINGUISHER
- FEC FIRE EXTINGUISHER CABINET FINISH FLOOR
- FLR FLOOR
- FT FEET / FOOT
- FTG FOOTING GA GAGE / GAUGE
- GAL GALLON
- GALV GALVANIZED GFCI GROUND FAULT CIRCUIT INTERUPTOR
- GPM GALLONS PER MINUTE
- GND GROUND GOVT GOVERNMENT
- GYP GYPSUM
- HC HANDICAPPED HDW HARDWARE
- HM HOLLOW METAL
- HORIZ HORIZONTAL HR HOUR
- HT HEIGHT HVAC HEATING / VENTILATION / AIR CONDITIONING
- HYD HYDRANT

MAX MAXIMUM MAT MATERIAL MCJ MASONRY CONTROL JOINT MECH MECHANICAL MFR MANUFACTURER MIN MINIMUM MISC MISCELLANEOUS MO MASONRY OPENING MTL METAL NIC NOT IN CONTRACT NO NUMBER NTS NOT TO SCALE OC ON CENTER OD OUTSIDE DIAMETER OF OUTSIDE FACE OH OVERHEAD OPP OPPOSITE PART PARTITION PCF POUNDS PER CUBIC FOOT PERP PERPENDICULAR PL PLATE PLF POUNDS PER LINEAL FOOT PNTD PAINTED PROT PROTECTION PSF POUNDS PER SQUARE FOOT PSI POUNDS PER SQUARE INCH QTY QUANTITY RD ROOF DRAIN RAD RADIUS REINF REINFORCED REQ'D REQUIRED RM ROOM RO ROUGH OPENING SCHED SCHEDULE SDI STEEL DECK INSTITUTE SHR SHOWER SHT SHEET SIM SIMILAR

INSIDE DIAMETER

INSIDE FACE

IN INCHES

INFO INFORMATION

INSUL INSULATION

LAV LAVATORY

LT WT LIGHT WEIGHT

MAINT MAINTENANCE

LT LIGHT

- SPEC SPECIFICATION STC SOUND TRANSMISSION
- COEFFICIENT
- STD STANDARD STIFF STIFFENER
- STRUCT STRUCTURAL
- SUSP SUSPENDED TBC TOP BACK OF CURB
- THRU THROUGH TO TOP OF
- TOA TOP OF ASPHALT
- TOF TOP OF FOOTING TOS TOP OF SLAB OR SIDEWALK
- TOW TOP OF WALL
- TYP TYPICAL UNO UNLESS NOTED OTHERWISE
- VCT VINYL COMPOSITION TILE VERT VERTICAL
- VEST VESTIBULE
- WD WOOD WWF WELDED WIRE FABRIC
- SYMBOL LEGEND

(A)------GRID LINES

DETAIL SYMBOL XX - DETAIL REFERENCE XXXX ---- SHEET REFERENCE WALL SECTION SYMBOL XX SECTION REFERENCE XXXX +— SHEET REFERENCE BUILDING SECTION SYMBOL XX - SECTION REFERENCE XXXX +---- SHEET REFERENCE EXTERIOR ELEVATION SYMBOL XX - ELEVATION REFERENCE XXXX 🚣 - SHEET REFERENCE INTERIOR ELEVATION SYMBOL XX (XXXX) XX - ELEVATION REFERENCE, TYPICAL - SHEET REFERENCE UPPER 👡 ROOM SYMBOL LOWER ROOM NAME 000 ---- ROOM NUMBER CEILING SYMBOI - CEILING TYPE XX -CEILING HEIGHT 8'-0" MAIN LEVEL ELEVATION CONTROL OR DATUM POINT WINDOW OR STOREFRONT NUMBER [W01] 001 DOOR NUMBER

- WALL TYPE REFERENCE
- 000 **KEYNOTE REFERENCE**

M: 801.725.9900

ARCHITECT

4478 W DORENA LN SOUTH JORDAN, UT 84009 B: 801.597.7641 M: 801.597.7641 CONTACT: PAUL NIELSEN EMAIL: paul@order-arch.com CIVIL ENGINEER LEGEND ENGINEERING

52 WEST 100 NORTH HEBER CITY, UT 84032 B: 435.654.4828 CONTACT: CAL JOHNSON EMAIL: cal@legendengineering.com

SPRINGER TRIPLET

49 NORTH 200 WEST MIDWAY, UTAH 84049

PROJECT IMAGE

CODE INFORMATION



2020 NATIONAL ELECTRICAL CODE 2021 INTERNATIONAL PLUMBING CODE 2021 INTERNATIONAL MECHANICAL CODE

2021 NATIONAL FIRE CODE

2021 INTERNATIONAL BUILDING CODE

2021 INTERNATIONAL ENERGY CONSERVATION CODE ICC/ANSI A117.1-2017 ACCESSIBILITY CODE

JURISDICTION: MIDWAY, UTAH

NERAL:		
TYPE OF CONSTRUCTION:	VB	
OCCUPANCY CLASSIFICATION:	M (MAIN LEV	VEL) & R-1
SEPARATION:	NON-SEPARA	
FIRE SPRINKLERS:	YES, NFPA 13	3
BUILDING ELEMENT FIRE RATING:	1-HOUR SOU	TH EXTER
RESIDENTIAL FIRE SEPARATION:	SEE SHEET A	100 & A10
GROSS BUILDING AREA:	8,600 S.F.	
MAIN LEVEL:	3,922 S.F.	
SECOND LEVEL:	4,678 S.F. (IN	CLUDING I
NUMBER OF STORIES/ HEIGHT:	2 STORY / 33	'-11"
REQUIRED MEANS OF EGRESS:	2 EXIT REQU	IRED AS P
COMMON PATH OF EGRESS:	75' AS PER IB	
EXIT ACCESS TRAVEL DISTANCE:	250' AS PER I	BC TABLE
OCCUPANT LOAD:	89 (SEE OCCU	UPANCY S
MAIN LEVEL:	65 OCCUPAN	
SECOND LEVEL:	25 OCCUPAN	
LOWABLE BUILDING HEIGHT & AREA (IB	C CHAPTER 5):	
BASIC ALLOWABLE HEIGHT:	60'-0" (M/R-1))
BASIC ALLOWABLE STORIES:	2-STORY (M)	1
BASIC ALLOWABLE AREA FACTOR:	21,000 S.F. (R	-1, SM)
		. ,
UMBING FIXTURE ANALYSIS (IBC CHAPTI	ER 29):	
BUILDING WATER CLOSETS REQUIR	ED:	1/500 =
BUILDING LAVATORIES REQUIRED:		1/750 =
BUILDING SERVICE SINKS REQUIREI):	1 (1 PRO
BUILDING DRINKING FOUNTAINS RE	EQUIRED:	0 (PER]
ERGY CODE VALUES - PRESCRIPTIVE VAL	LUES PER IECC	TABLE C4
ROOFS - ATTIC & OTHER:		R-49
WALLS, ABOVE GRADE - WOOD FRA	MED:	R-20 BA
2 { BELOW-GRADE WALL (CRAWL SPAC	CE):	R-10 CC
FLOORS - JOIST/FRAMING:		R-38
SLAB-ON-GRADE FLOORS - UNHEATI	ED SLABS:	R-20 FC
OPAQUE DOORS, SWINGING:		0.37 U-V

VERTICAL, FIXED FENESTRATION (PF=0.5): VERTICAL, OPERABLE FENESTRATION (PF=0.5): VERTICAL, ENTRANCE DOORS (PF=0.5):

DAVID SPRINGER / TRAVIS NOKES

1041 LIME CANYON WAY MIDWAY, UTAH 84049

CONTACT: TRAVIS NOKES EMAIL: travis@blackoakutah.com

ORDER ARCHITECTURE

STRUCTURAL ENGINEER YORK ENGINEERING

PLU

4883 OLD HIGHWAY ROAD MORGAN, UTAH 84050 B: 801.876.3501 M: CONTACT: MIKE DENT EMAIL: mike@yorkengr.com ELECTRICAL ENGINEER

ROCKY MOUNTAIN CONSULTING ENGINEERS, INC.

2332 W. 12600 S. SUITE F RIVERTON, UTAH 84065 B: 801.566.0503 M: 385.228.5551 **CONTACT: DUSTIN HUGHES** EMAIL: dustin@rmceut.com MECHANICAL ENGINEER

JTB HVAC & PLUMBING ENGINEERING

922 W BAXTER DRIVE, SUITE 100 SOUTH JORDAN, UTAH 84095 B: 801.849.8590 M: 801.707.5011 CONTACT: JEFF BROWN EMAIL: Jeff.Brown@JTBEngineering.net

I (SECOND LEVEL) ERIOR WALL PER IBC TABLE 601 & 705.3

BALCONIES)

PER TABLE 1006.2.1 1006.2.1

E 1017.2 SCHEDULE ON A100)

= 1 (2 PROVIDED) 1 (2 PROVIDED) ROVIDED) R IBC SECTION 2902.6)

2402.1.4 (ZONE 6) BATT + R3.8 CONTINUOUS

CONTINUOUS } OR 24" BELOW .3/U-VALUE 0.34 U-VALUE +SHGC = 0.61

0.42 U-VALUE +SHGC = 0.540.63 U-VALUE +SHGC = 0.54

INDEX OF DRAWINGS

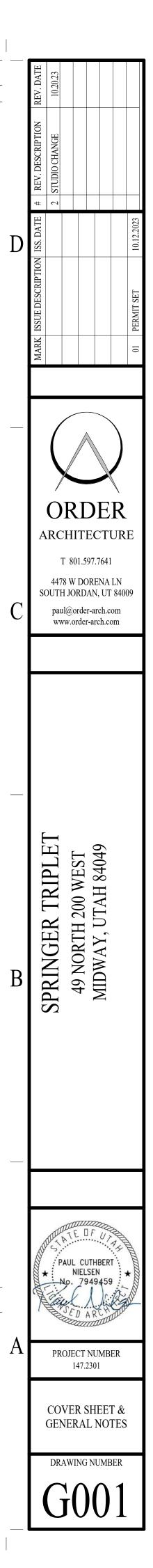
SHT. NO.	SHEET TITLE
GENERAL G001	COVER SHEET & GENERAL NOTES
0001	COVER SHEET & GENERAL NOTES
CIVIL	
C-0	CIVIL COVER SHEET
C-1	SITE PLAN
C-2	GRADING PLAN
C-3	OVERALL UTILITY PLAN
C-3.1	STA 0+00 - 4+00
C-3.2	STA 4+00 - 7+30
C-4	DETAILS
C-4.1	HYDROLOGY DETAILS
C-4.2	STORMTECH DETAILS
C-4.3	UTILITY DETAILS
C-4.4	UTILITY DETAILS
C-5	STORMWATER POLLUTION PREVENTION PLAN
C-6	SWPPP DETAILS
ARCHITECTU	ΦΛΙ
Allo0	EXITING & OCCUPANCY PLANS
A100 A100a	SEPARATIONS/ LISTING INFO
A101	MAIN LEVEL FLOOR PLAN
A102	SECOND LEVEL FLOOR PLAN
A102a	ENLARGED SECOND LEVEL FLOOR PLAN - AREA A
A102b	ENLARGED SECOND LEVEL FLOOR PLAN - AREA B
A105	ROOF PLAN
A111	REFLECTED CEILING PLAN
A112	REFLECTED CEILING PLAN
A131	FOOTING AND FOUNDATION PLAN
A201	EXTERIOR ELEVATIONS
A202	EXTERIOR ELEVATIONS
A301	BUILDING SECTIONS
A302	BUILDING SECTIONS
A401	ENLARGED PLAN, INTERIOR ELEVATIONS & FINISH SCHEDUI
A405	ENLARGED STAIR PLANS & SECTIONS
A501	ARCHITECTURAL DETAILS
A502	ARCHITECTURAL DETAILS
A601	WALL TYPES, DOOR & WINDOW SCHEDULES
STRUCTURA	[.
S110010101	FOOTING / FOUNDATION PLAN
S2	LOWER FLOOR FRAMING PLAN
S3	UPPER FLOOR / LOWER ROOF FRAMING PLAN
S4	ROOF FRAMING PLAN
SD1	DETAILS & NOTES
SD2	DETAILS & NOTES
SD3	DETAILS & NOTES
WSWH1	STRONG-WALL WSWH
WSWH2	STRONG-WALL WSWH
	L/PLUMBING
M000	MECHANICAL & PLUMBING TITLE SHEET
M101	LEVEL 1 MECHANICAL PLAN
M102	LEVEL 2 MECHANICAL PLAN MECHANICAL DETAILS
M501 M701	MECHANICAL DETAILS MECHANICAL SCHEDULES
P101	LEVEL 1 PLUMBING PLANS
P102	LEVEL 2 PLUMBING PLANS
P501	PLUMBING DETAILS
P701	PLUMBING SCHEDULES
ELECTRICAL	
E000	ELECTRICAL GENERAL SHEET
E001	ELECTRICAL SITE PLAN
E101	MAIN LEVEL LIGHTING PLAN
E102	SECOND LEVEL LIGHTING PLAN
E201	MAIN LEVEL POWER PLAN
E202	SECOND LEVEL POWER PLAN
E501	ELECTRICAL DETAILS
E601	ELECTRICAL SCHEDULES
E602	ELECTRICAL SCHEDULES
E603	ELECTRICAL SCHEDULES

DEFERRED SUBMITTALS

SIGNAGE (SEPARATE PERMIT)

FIRE SPRINKLER SYSTEM. FIRE ALARM SYSTEM.

PREMANUFACTURED ROOF TRUSSES.





В

C1 WEST ELEVATION A201 3/16" = 1'-0" \wedge 6

(A)

5' - 0"

8' - 0" FOUNDATION SETBACK

PROPERTY LINE -

(c)

FAUX WINDOW

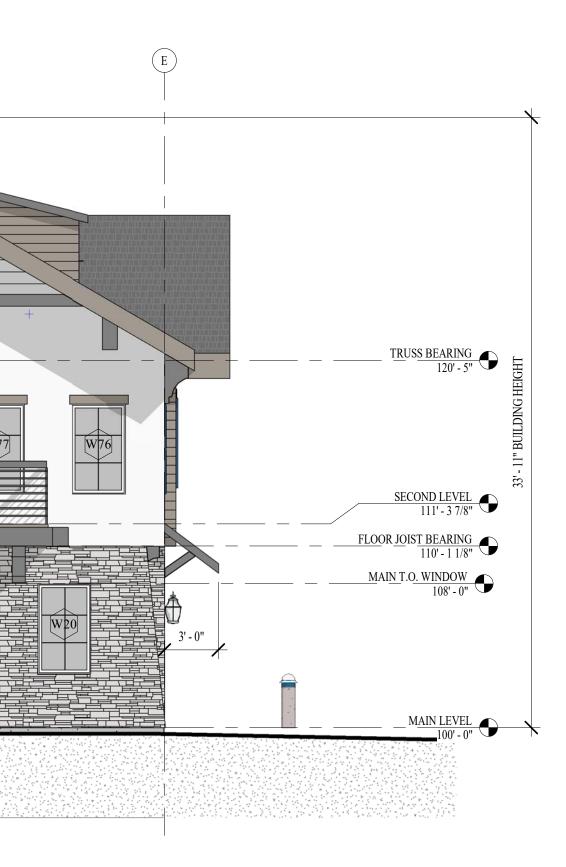


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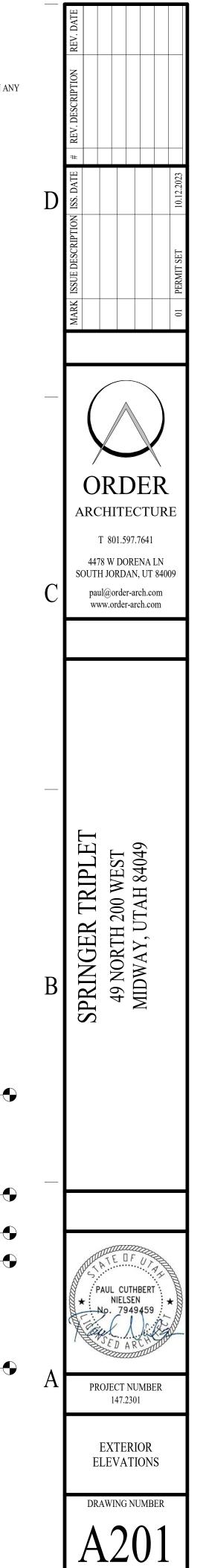


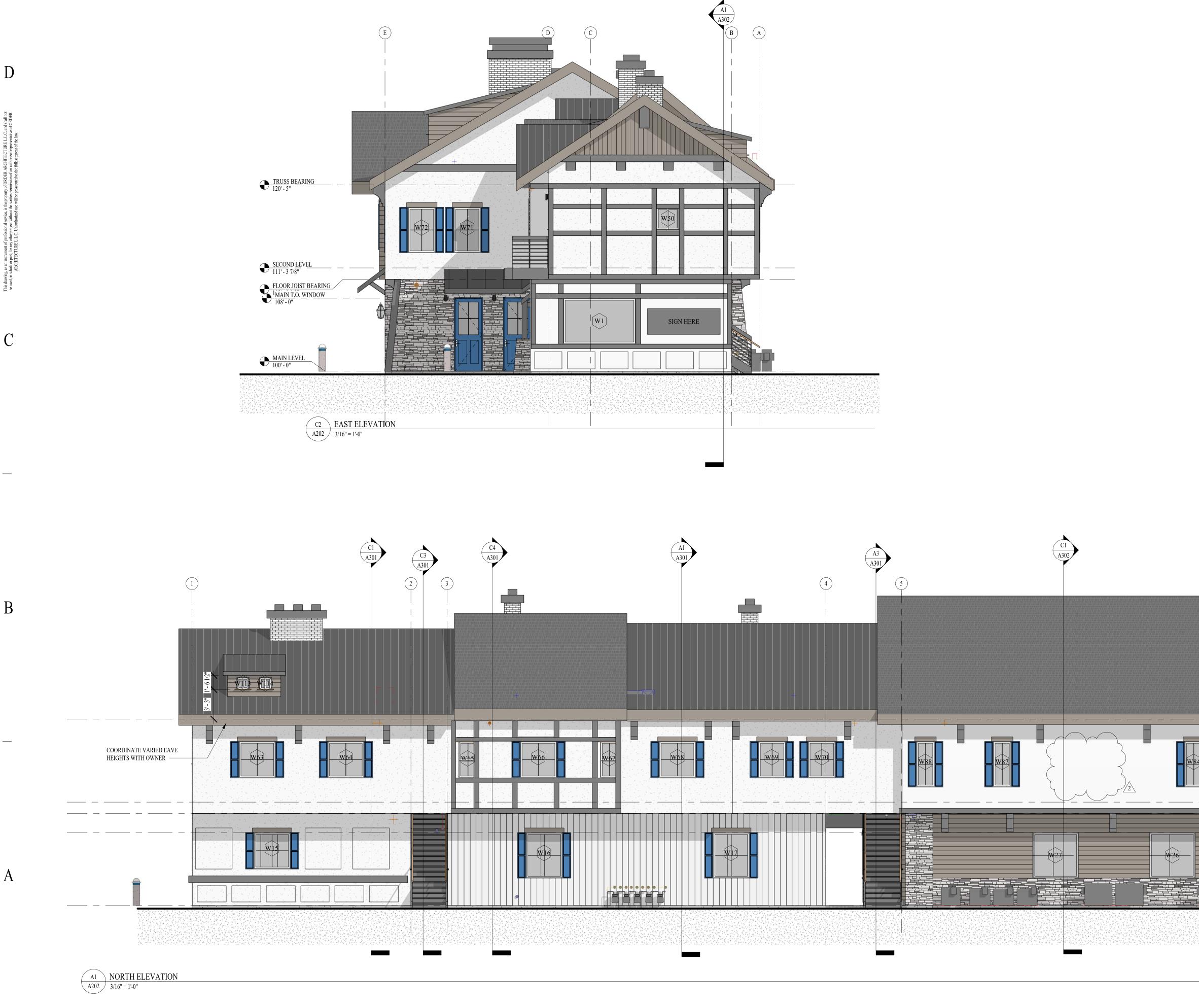


EXTERIOR ELEVATION GENERAL NOTES:

- A. SEE SHEET A601 FOR DOOR AND WINDOW SCHEDULES. В.
- SAND PLASTER EXPOSED SURFACES OF FOUNDATION WALL. DOWNSPOUT LOCATIONS TO BE AS UNOBTRUSIVE AS POSSIBLE AND TO BE RUN C.
- UNDERGROUND COORDINATE WITH CIVIL DRAWINGS.
- CHIMNEY HEIGHT TO BE 36" TALLER THAN ADJOINING ROOF AND 24" HIGHER THAN ANY D. ROOF WITH IN 10' HORIZONTAL. COORDINATE / VERIFY ALL FINISHES WITH OWNER.











3

2

3

4

4

EXTERIOR ELEVATION GENERAL NOTES:

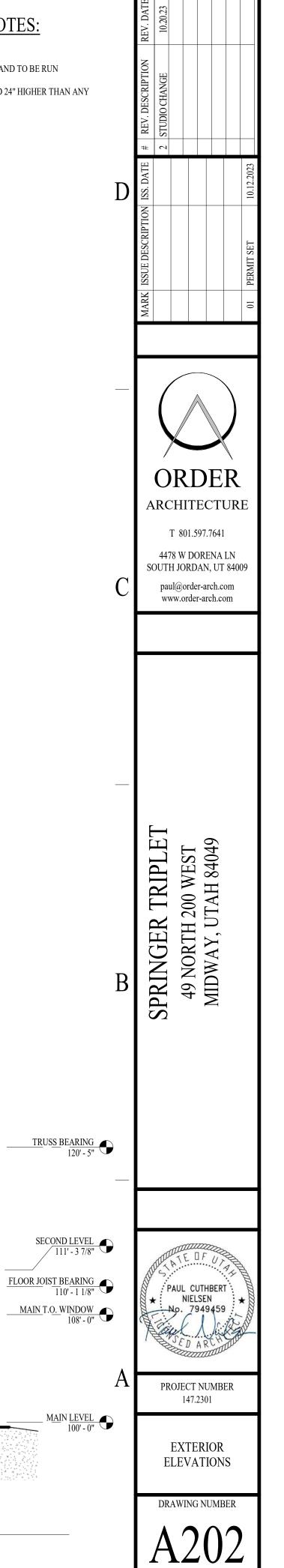
- A. SEE SHEET A601 FOR DOOR AND WINDOW SCHEDULES.
 B. SAND PLASTER EXPOSED SURFACES OF FOUNDATION WALL.
 C. DOWNSPOUT LOCATIONS TO BE AS UNOBTRUSIVE AS POSSIBLE AND TO BE RUN UNDERGROUND COORDINATE WITH CIVIL DRAWINGS.
- D. CHIMNEY HEIGHT TO BE 36" TALLER THAN ADJOINING ROOF AND 24" HIGHER THAN ANY

6

1' - 10 1/4" 1' - 0 3/4"

W24

ROOF WITH IN 10' HORIZONTAL. E. COORDINATE / VERIFY ALL FINISHES WITH OWNER.



5

 \wedge

W25

W83

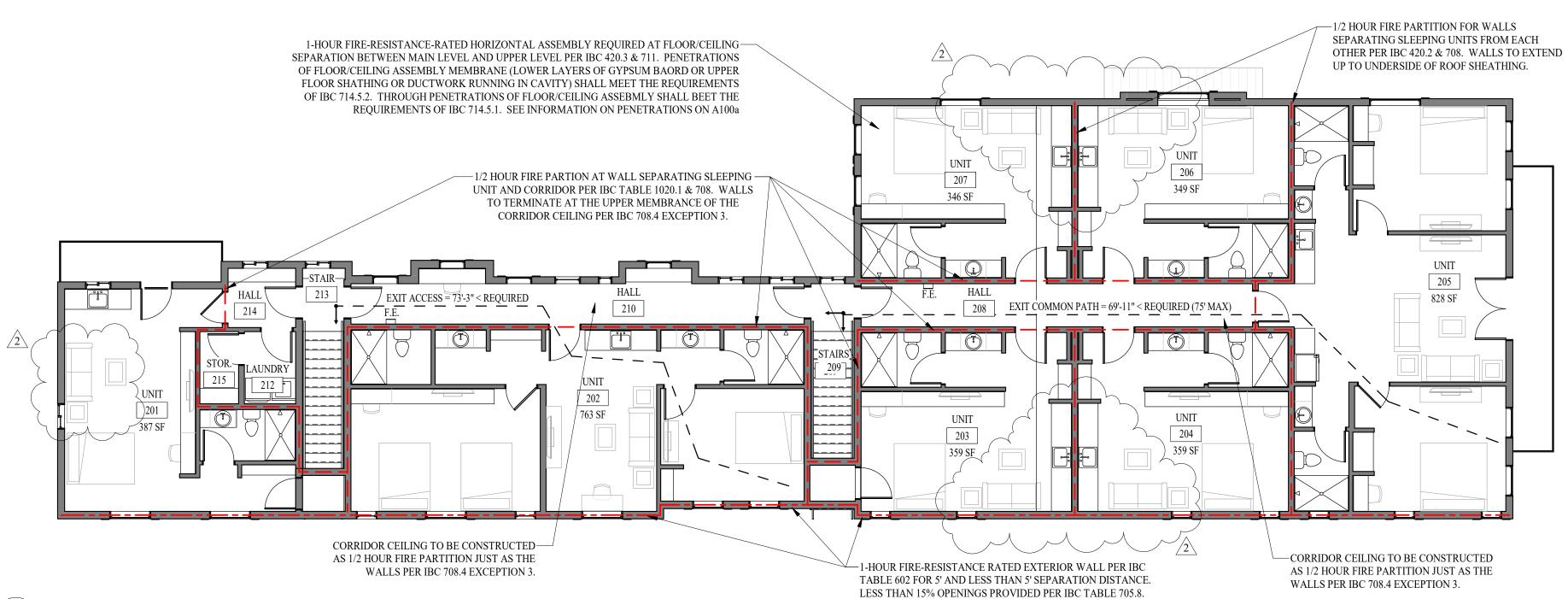


Π

MAIN LEVEL EXITING FLOOR PLAN A2 A100 1/8" = 1'-0"

RESTROO EXIT 8 OCC. UNIT 103 423 SF EXIT - 12 OCC 1-HOUR FIRE-RESISTANCE RATED EXTERIOR WALL PER IBC-TABLE 602 FOR 5' AND LESS THAN 5' SEPARATION DISTANCE. LESS THAN 25% OPENINGS PROVIDED PER IBC TABLE 705.8.

C2 SECOND LEVEL EXITING PLAN C2 SECOND L! A100 1/8" = 1'-0"



D

WHERE *FIRE PARTITIONS* DO NOT EXTEND TO THE UNDERSIDE OF THE ROOF SHEATHING THE SPACE ABOVE AND ALONG THE LINE OF THE <u>FIRE PARTITION</u> SHALL BE PROVIDED WITH ONE OF THE FOLLOWING:

- <u>FIREBLOCKING</u> UP TO THE UNDERSIDE OF THE FLOOR OR ROOF SHEATHING, DECK OR SLAB ABOVE USING MATERIALS COMPLYING WITH <u>SECTION 718.2.1</u>. 1.

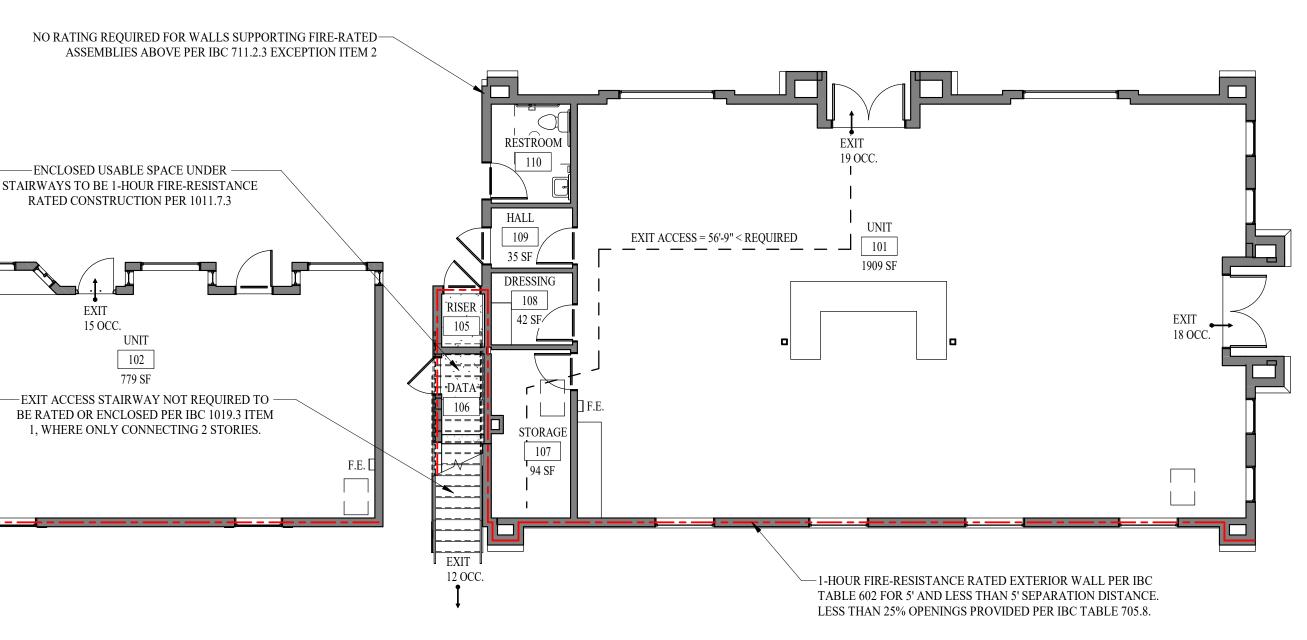
- DRAFTSTOPPING UP TO THE UNDERSIDE OF THE FLOOR OR ROOF SHEATHING, DECK OR SLAB ABOVE

2.

USING MATERIALS COMPLYING WITH SECTION 718.3.1 FOR FLOORS OR SECTION 718.4.1 FOR ATTICS.

EXCEPTION: WHERE <u>CORRIDOR WALLS</u> PROVIDE A <u>SLEEPING UNIT</u> OR <u>DWELLING UNIT</u> SEPARATION, DRAFTSTOPPING SHALL ONLY BE REQUIRED ABOVE ONE OF THE <u>CORRIDOR WALLS</u>.

PROVIDE OPENINGS IN FIREBLOCKING/DRAFTSTOPPING TO ALLOW ACCESS INTO ALL ATTIC SPACES. OPENING SHALL BE PROTECTED BY SELF-CLOSING 20 MINUTE RATED DOORS WITH AUTOMATIC LATCHES.



FLOOR PLAN GENERAL NOTES:

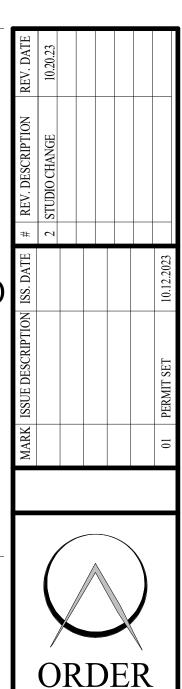
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- SEE DETAILS B2, B3 & B4 ON SHEET A502 FOR EXTERIOR WALL LOCATIONS IN RELATIONSHIP TO FOUNDATION WALL.

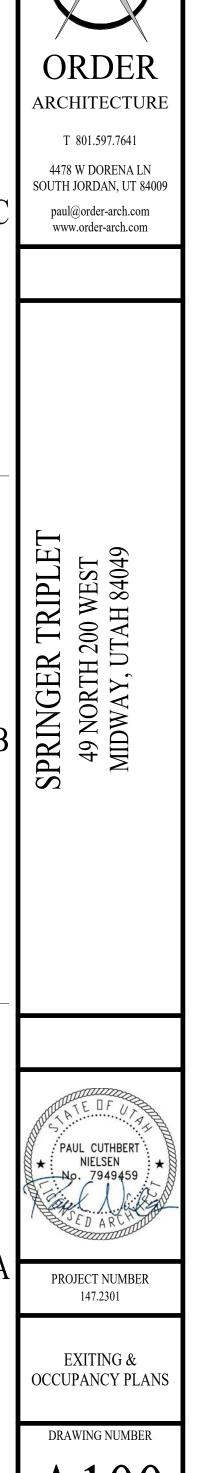
EGRESS & OCCUPANCY LEGEND:

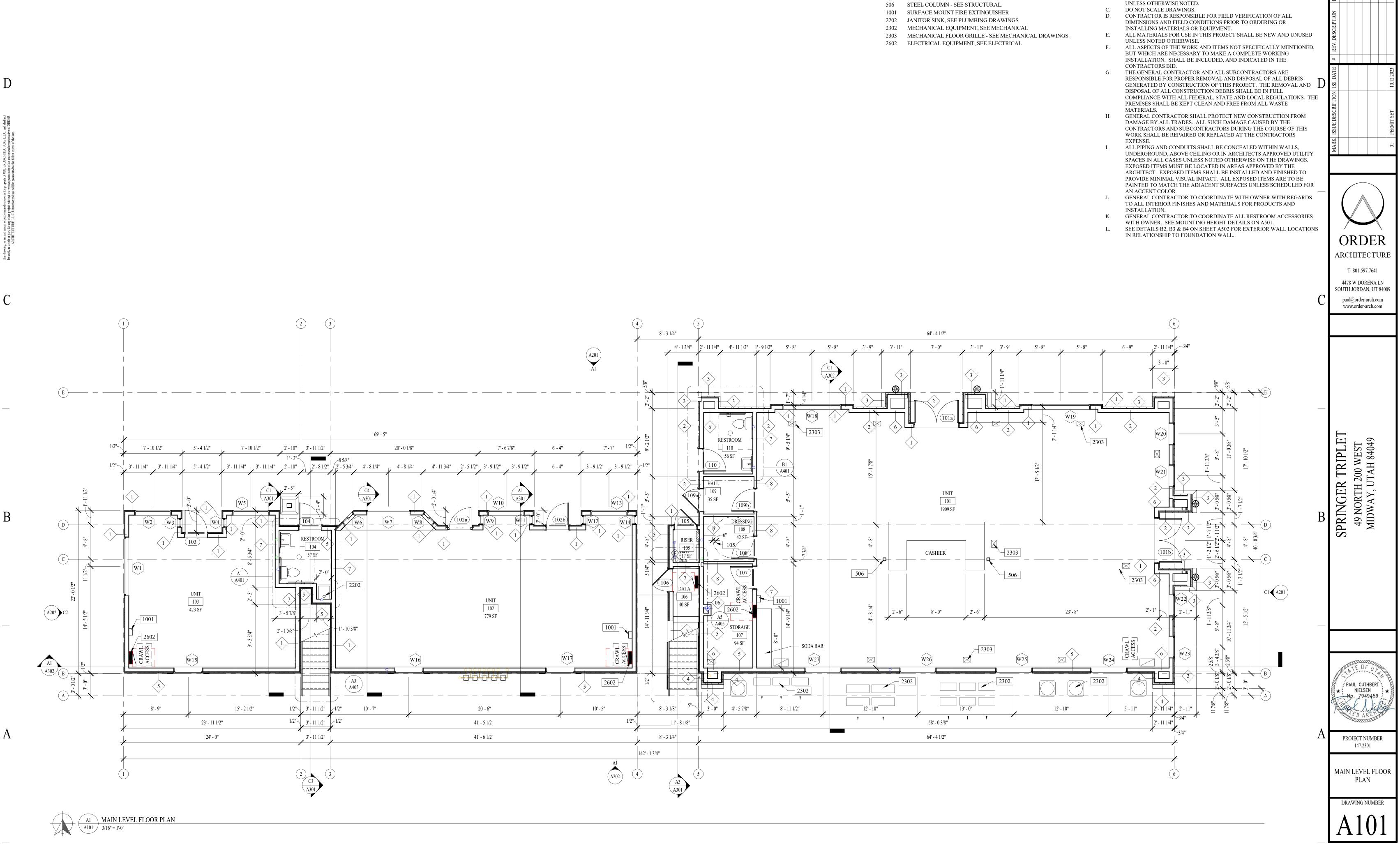
EXIT	EXIT DISCHARGE AND LOAD FACTOR	
160.000	EATT DISCHARGE AND LOAD FACTOR	

169 OCC.	
F.E.	FIRE EXTINGUISHER (SURFACE-MOUNT). PROVIDE 2A:10BC RATED FIRE EXTINGUISHER.
	LINE INDICATES TRAVEL DISTANCE TO FIRE EXTINGUISHERS
	LINE INDICATES EXIT ACCESS (<250') / COMMON PATH OF EGRESS TRAVEL (<75')
	1/2 HOUR FIRE RATED PARTITION
	1 HOUR FIRE RATED PARTITION

OCCUPANCY LOAD SCHEDULE				
SPACE	OCCUPANCY	AREA	LOAD FACTOR	OCCUPANTS
MAIN LEVEL				
101 UNIT	MERCANTILE	2069 SF	60	35
102 UNIT	MERCANTILE	880 SF	60	15
103 UNIT	MERCANTILE	479 SF	60	8
104 RESTROOM	MERCANTILE	71 SF	60	2
107 STORAGE	STORAGE	118 SF	300	1
110 RESTROOM	MERCANTILE	77 SF	60	2
DRESSING		47 SF		
EQUIPMENT	EQUIPMENT	44 SF	300	1
HALL		42 SF		
		3827 SF		64
SECOND LEVEL				
RESIDENTIAL		4671 SF	200	24
		4671 SF		24
TOTAL OCCUPANTS		8498 SF		88





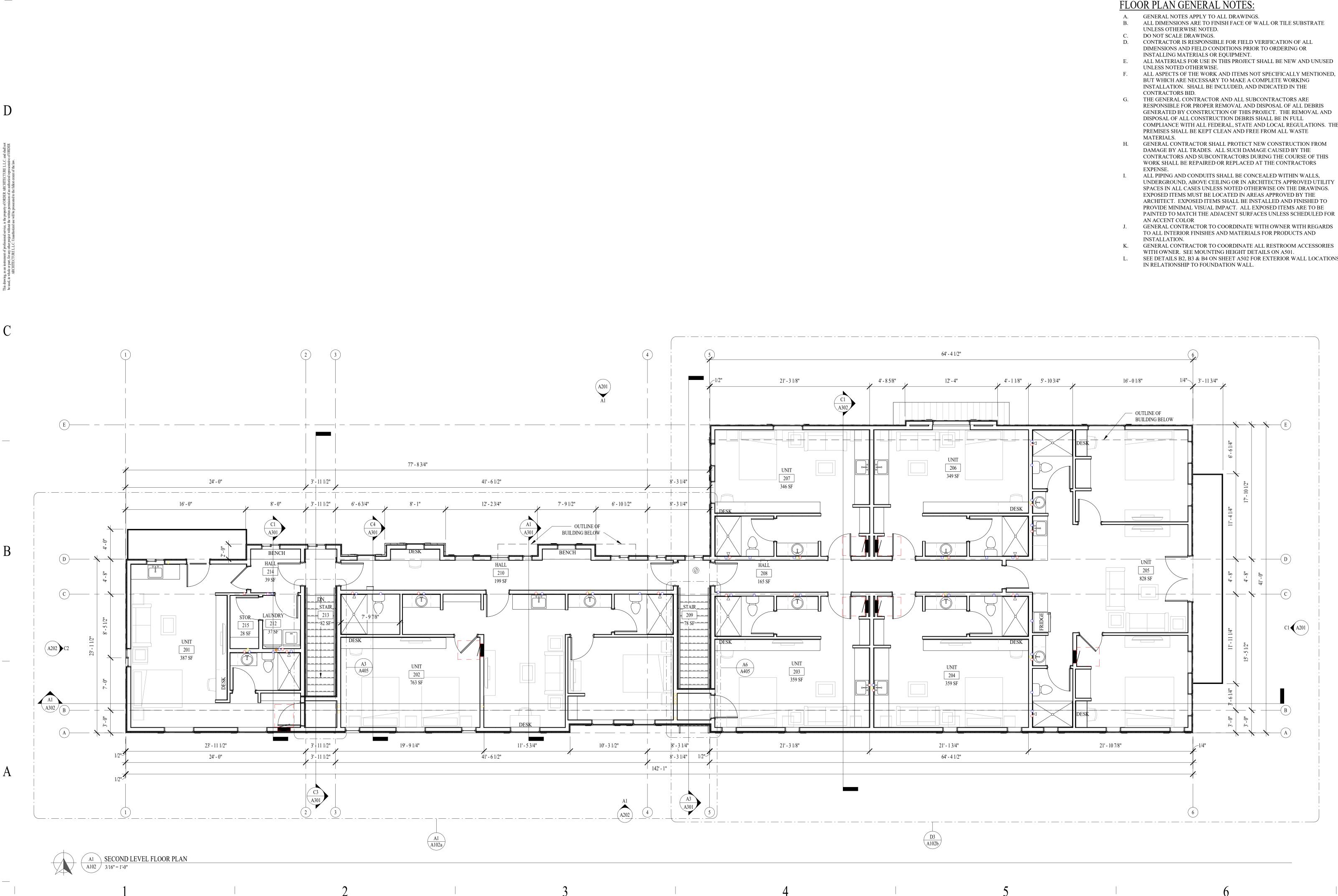


KEY	YNOTE	LEGENI

105	DRESSING ROOM BENCH TO
	PER DIMENSION SHOWN FR
506	STEEL COLUMN - SEE STRUC
1001	SURFACE MOUNT FIRE EXTI
2202	JANITOR SINK, SEE PLUMBI
2302	MECHANICAL EQUIPMENT,
2303	MECHANICAL FLOOR GRILL
2602	ELECTRICAL FOURMENT S

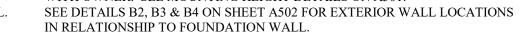
- O ALLOW ADA CLEAR TOE CLEARANCE
- ROM 0" TO 9" ABOVE FLOOR.

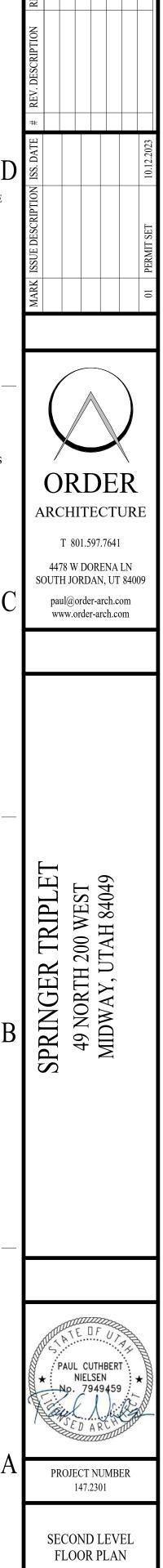
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- GENERAL CONTRACTOR TO COORDINATE ALL RESTROOM ACCESSORIES



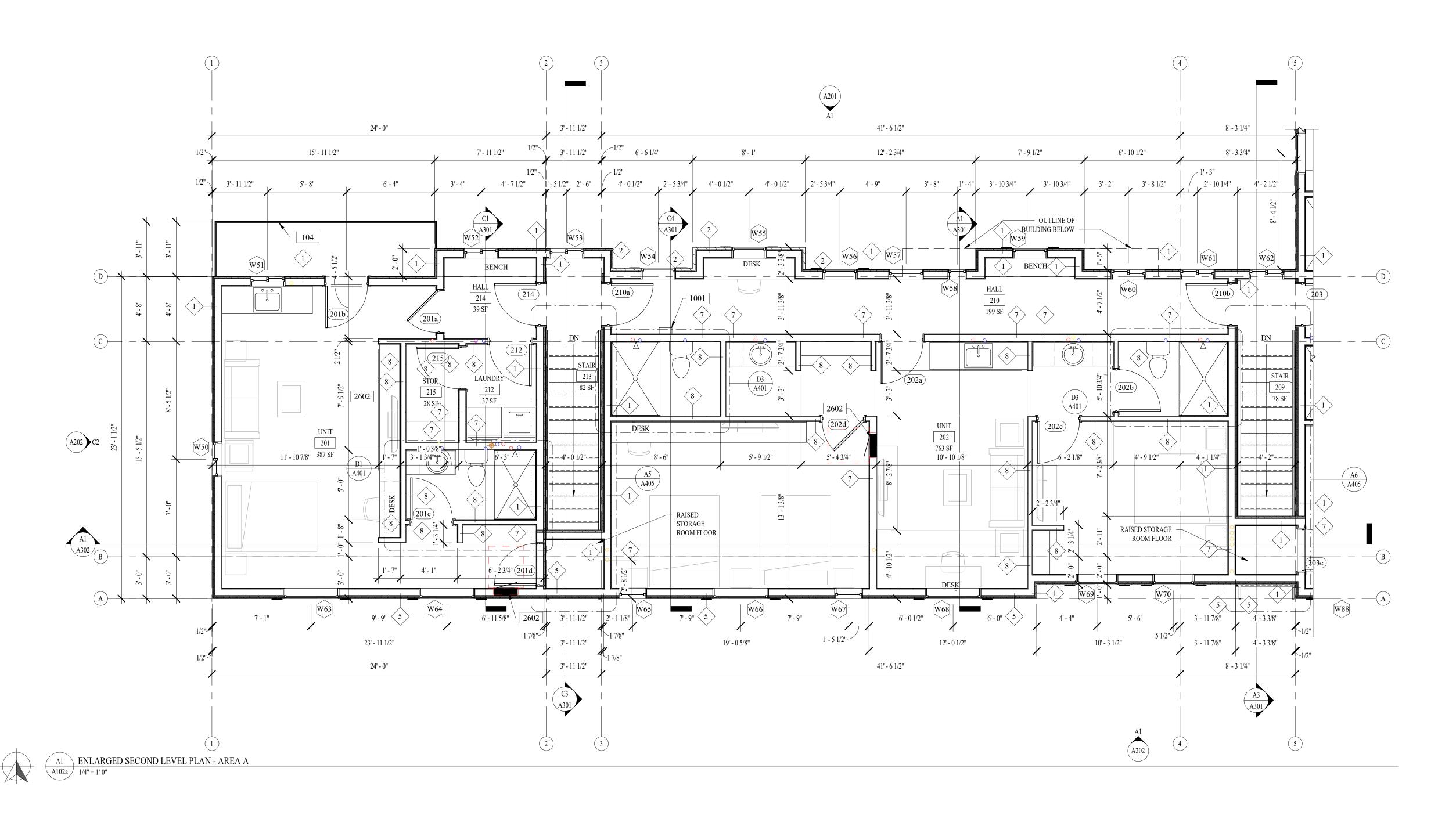


DRAWING NUMBER



В

A



2

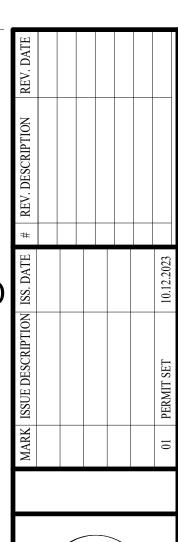


3

2602 ELECTRICAL EQUIPMENT, SEE ELECTRICAL

FLOOR PLAN GENERAL NOTES:

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- SEE DETAILS B2, B3 & B4 ON SHEET A502 FOR EXTERIOR WALL LOCATIONS L. IN RELATIONSHIP TO FOUNDATION WALL.





paul@order-arch.com www.order-arch.com

SPRINGER TRIPLET 49 NORTH 200 WEST MIDWAY, UTAH 84049

PAUL CUTHBERT NIELSEN No. 7949459

PROJECT NUMBER 147.2301

ENLARGED SECONI

LEVEL FLOOR PLAN AREA A

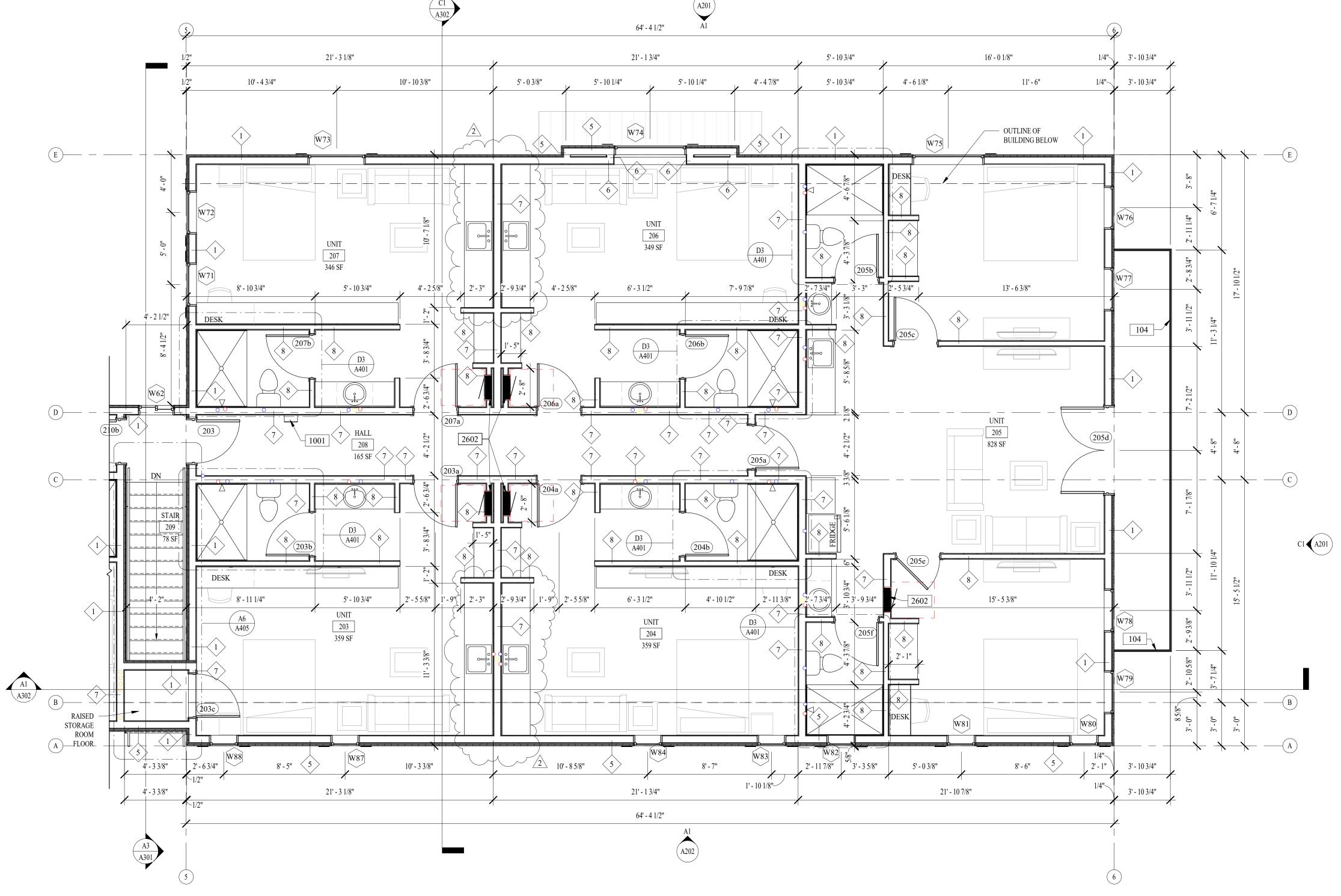
DRAWING NUMBER

D

В

Π

D3 ENLARGED SECOND LEVEL PLAN - AREA B A102b 1/4" = 1'-0"



2

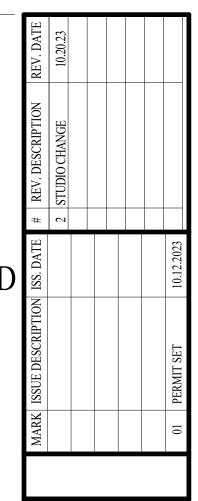


3

FLOOR PLAN GENERAL NOTES: A.

D.

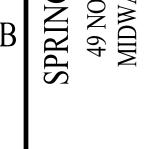
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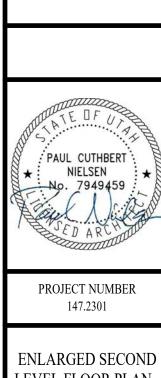


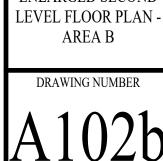


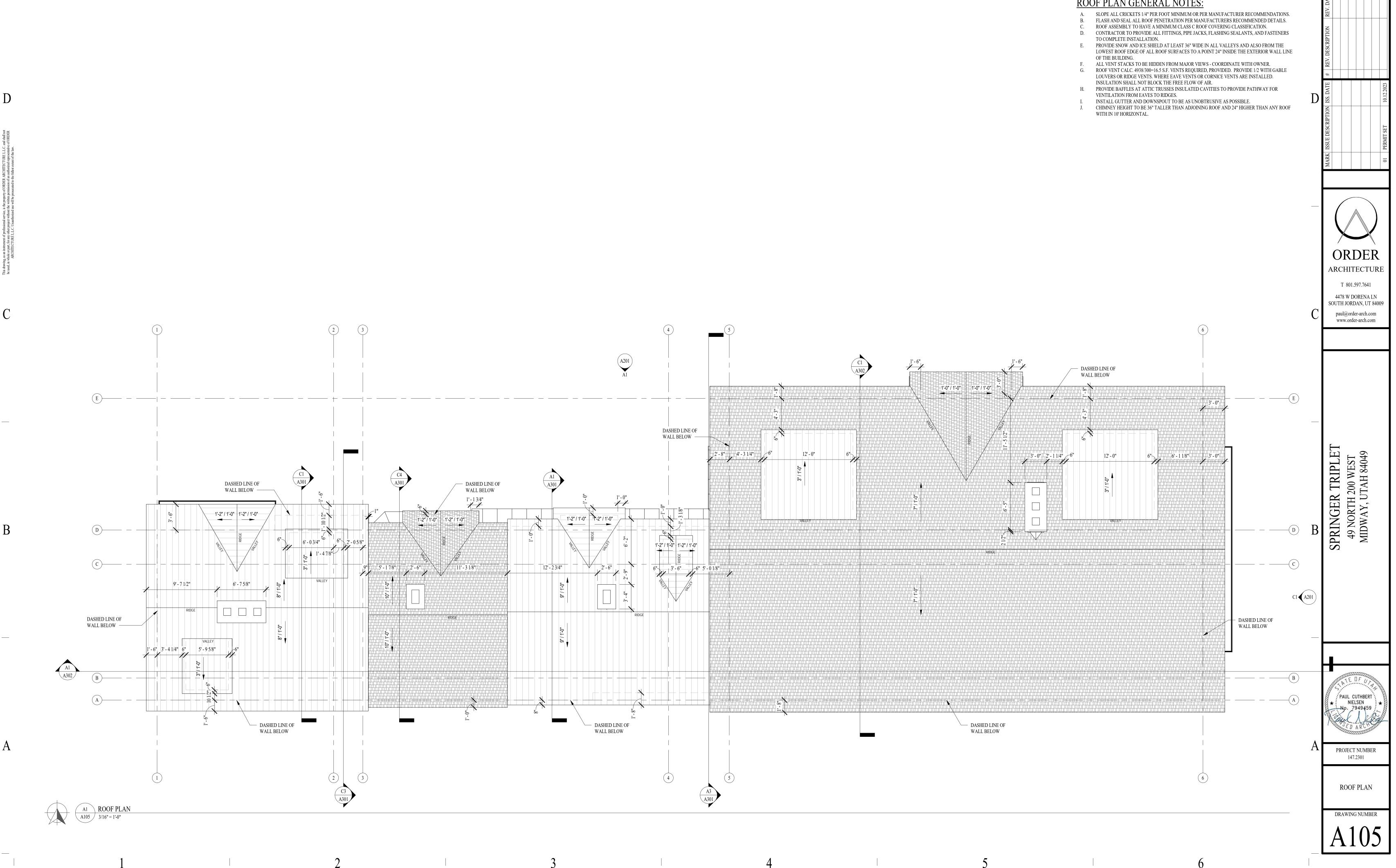
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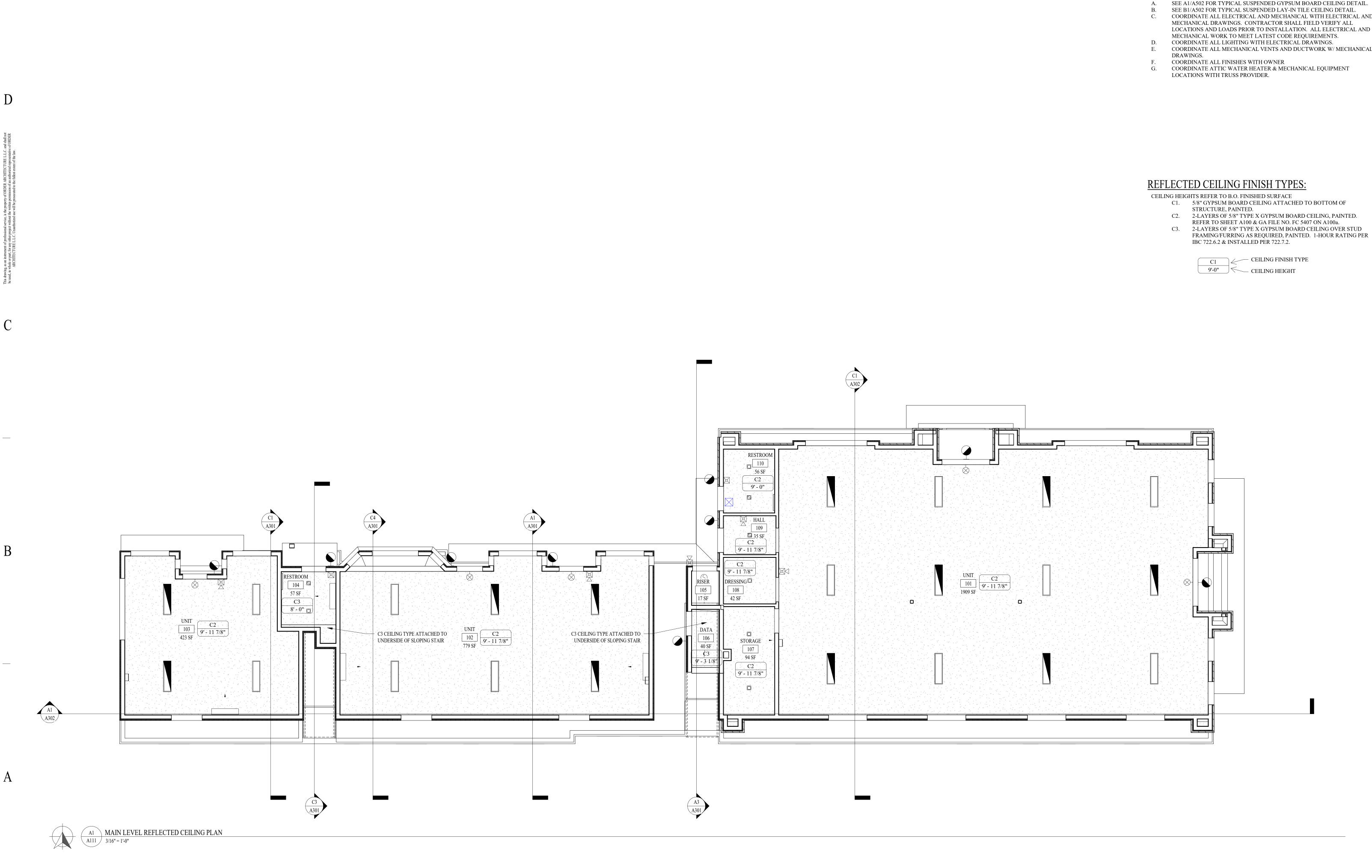








ROOF PLAN GENERAL NOTES:



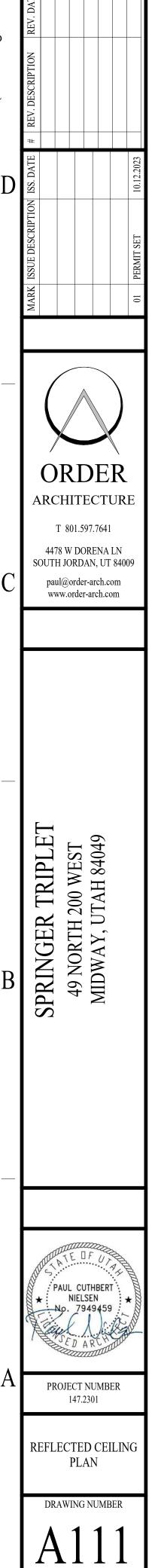
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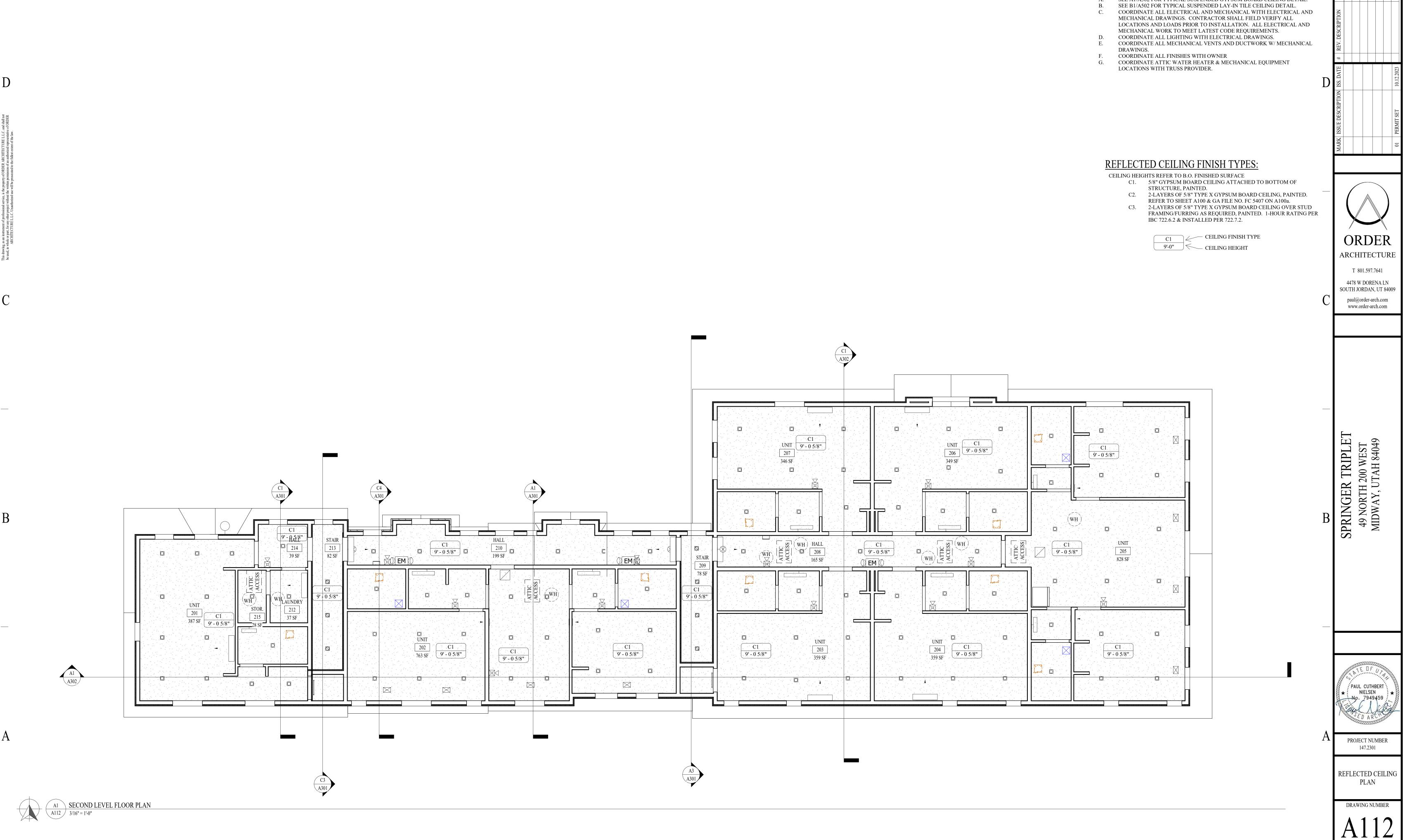
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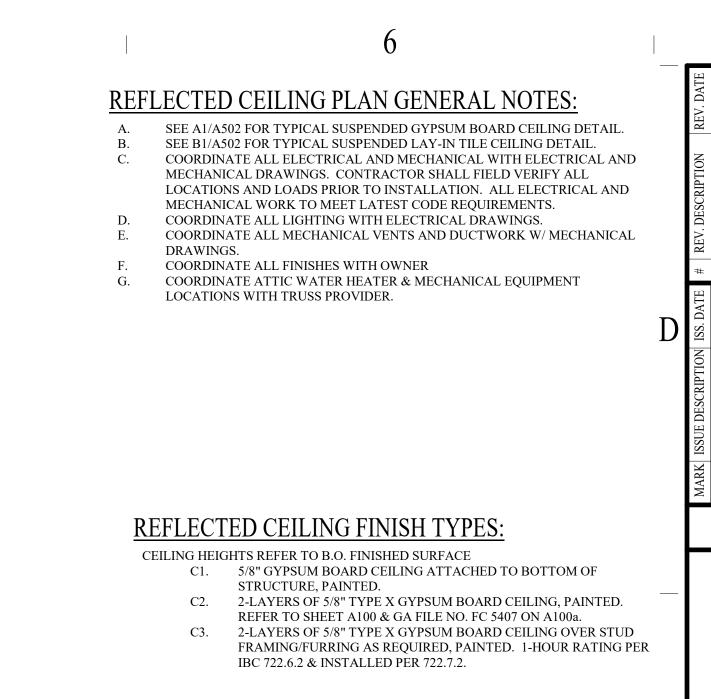
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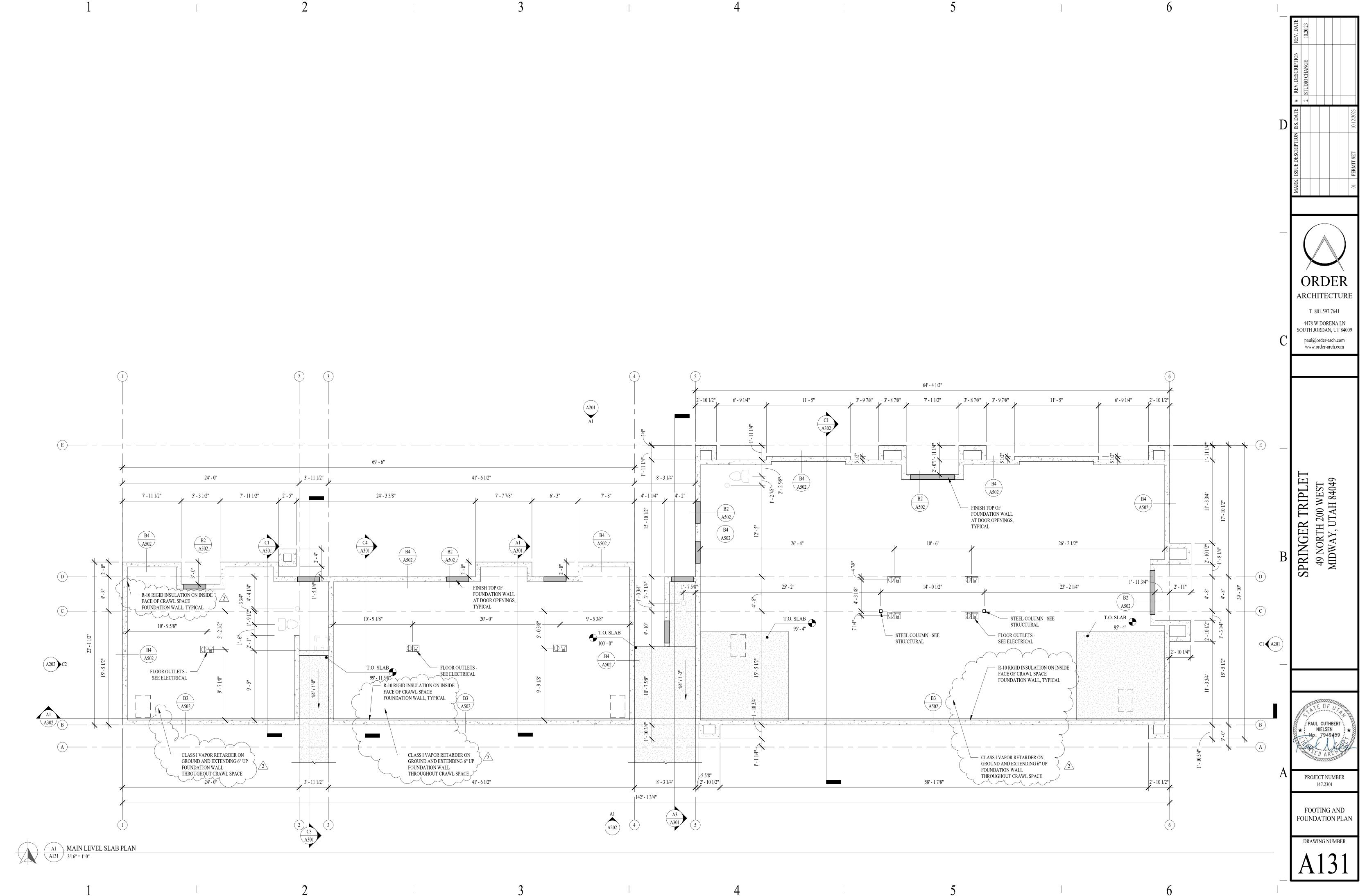
REFLECTED CEILING PLAN GENERAL NOTES:

- SEE A1/A502 FOR TYPICAL SUSPENDED GYPSUM BOARD CEILING DETAIL. SEE B1/A502 FOR TYPICAL SUSPENDED LAY-IN TILE CEILING DETAIL. COORDINATE ALL ELECTRICAL AND MECHANICAL WITH ELECTRICAL AND MECHANICAL DRAWINGS. CONTRACTOR SHALL FIELD VERIFY ALL LOCATIONS AND LOADS PRIOR TO INSTALLATION. ALL ELECTRICAL AND
- MECHANICAL WORK TO MEET LATEST CODE REQUIREMENTS. COORDINATE ALL LIGHTING WITH ELECTRICAL DRAWINGS. COORDINATE ALL MECHANICAL VENTS AND DUCTWORK W/ MECHANICAL
- COORDINATE ALL FINISHES WITH OWNER
- COORDINATE ATTIC WATER HEATER & MECHANICAL EQUIPMENT LOCATIONS WITH TRUSS PROVIDER.









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