

### CITY COUNCIL MEETING STAFF REPORT

| DATE OF MEETING:                  | March 19, 2024                                                                                                     |
|-----------------------------------|--------------------------------------------------------------------------------------------------------------------|
| NAME OF PROJECT:                  | Springer Farms                                                                                                     |
| <b>PROPERTY OWNER:</b>            | Springer Farms Land Holdings LLC                                                                                   |
| AUTHORIZED REPRESENTATIVE:        | Travis Nokes                                                                                                       |
|                                   |                                                                                                                    |
| AGENDA ITEM:                      | Preliminary Approval to Subdivide Springer<br>Farms Commercial Planned Unit<br>Development – Condominium of Unit 4 |
| AGENDA ITEM:<br>LOCATION OF ITEM: | Farms Commercial Planned Unit                                                                                      |

#### **ITEM: 15**

Travis Nokes is requesting Preliminary Approval to subdivide the Robey Building of Springer Farms into a commercial condominium. The proposal would subdivide the Robey (Unit 4) building into ten units. The Robey Building will consist of seven short-term rental units on the upper floor and three commercial units on the lower floor. The property is located at 65 N 200 W and is in the C-3 zone.

#### **BACKGROUND:**

Travis Nokes, representative for Springer Farms Land Holdings LLC, is proposing preliminary approval to subdivide Unit 4 of the Springer Farms Commercial Planned Unit Development into ten condominiums. The condominiums will consist of seven short-term rental units on the upper floor and three commercial units on the lower floor. This will allow the owner to sell each of the ten units to different entities that will be governed by the Codes, Covenants, and Restrictions (CC&Rs) of Springer Farms.

Commercial Condominiums are a conditional use in the C-3 zone. Currently, Springer Farms is a four-unit commercial planned unit development. The four units are four building sites surrounded by common area that the four units all own in common. What is being proposed is to add a plat to the recorded Springer Farms Subdivision. The new plat will be a condominium plat of Unit 4 that will divide it from one unit to ten units. Unit 4, which currently has one tax identification number, will have ten tax identification numbers. Likewise. Springer Farms, which currently has four tax identification numbers, will have 14 tax identification numbers. It is likely that Units 1-3 will also go through the same process in the future.

Unit 4 is currently under construction. There are different building code requirements for a condominium building as compared to a building in one ownership. It is staff's understanding that the building under construction is being built to the required condominium standards. As mentioned earlier, Springer Farms CC&Rs will govern all the units in the development. The landscaping and parking areas are recorded as common area and will be maintained by the Property Owners' Association.

The site is located to the west of Town Square and fronts on 200 West. The property is in the C-3 zone and commercial condominiums are allowed as a conditional use. The property is located in an important area of Midway because it surrounds the Town Square. The C-3 zone, that includes and surrounds the Town Square, is distinct from the C-2 zone which covers the majority of Main Street heading to the east. The difference between the two zones is the C-3 zone is more restrictive than the C-2 zone. For example, where the C-2 zone allows for several uses associated with vehicles such as gasoline stations and car washes, the C-3 zone is more restrictive and does not allow these types of uses. The C-3 zone is focused on restaurants, retail, offices, and other similar types of commercial uses. The purpose of this distinction is to create a walkable core to Midway that is a gathering area for the community. The City Council has recently reviewed a proposed master plan for the Town Square that will help the Town Square to be more usable year-round and a gathering place for the community. The City is also interested in compatible uses developing around the Town Square that will complement the area and create an active and vibrant Midway core. The Springer Village will help create that core with its eateries, commercial, and nightly rentals.

There are existing residents and commercial businesses in the area that will be impacted by the development and careful planning must be taken to mitigate negative impacts wherever reasonably possible. Because commercial planned unit developments are a conditional use, the City Council may require reasonable conditions to mitigate negative impacts to the neighbors and the area. Conditional uses are governed by the following standards:

(a) A conditional use shall be approved if reasonable conditions are proposed, or can be imposed, to mitigate the reasonably anticipated detrimental effects of the proposed use in accordance with applicable standards.

(b) If the reasonably anticipated detrimental effects of a proposed conditional use cannot be mitigated by the proposal or the imposition of reasonable conditions to achieve compliance with applicable standards, the conditional use may be denied.

The original approval of Springer Farms as a Conditional Use has the following conditions required as part of the approval and will continue to be required if Unit 4 is subdivided:

- Fencing be installed per the proposed fencing plan and compliance with City requirements.
- The windows facing off the property, on the second floor of any buildings, had to have window coverings installed on them.

### LAND USE SUMMARY:

- C-3 zone
- 1.26 acres
- Unit 4 is 4,747 square feet (building footprint)
- Unit 4 will be a condominium plat
- Unit Four:
  - Three lower floor commercial units
  - Seven short-term rentals (will not include kitchens or individual laundry facilities)
- Private driveways, parking, and landscaping that will be common area and will be maintained by the Property Owners' Association

#### ANALYSIS:

*Architectural Theme* – The developer is required to receive architectural approval of all structures in a commercial planned unit development. The developer has presented renderings to the Visual Architecture Committee and has received a recommendation of approval for Unit 4.

*Parking* – The developer is providing 50 stalls in the proposed site plan. Based on the information provided, 44 stalls are required for the proposal (13 stalls for short-term rentals, 6.4 stalls for the west building lower floor and 4 stalls for the west building upper floor, 10.2 stalls for the south building lower floor, and 4.25 stalls for the restaurant, and 5.8 stalls for the north building).

*Height of structures* – Structures cannot exceed 35' in height, measured from natural grade to the roof. Architectural elements may exceed the 35' limit as per code.

*Transient Rental Overlay District* – The transient rental overlay district (TROD) covers the entire project area. The proposal is to create 13 short-term rental units (seven in Unit4). The units will not contain kitchens or laundry facilities.

*Property Owners' Association* – A Property Owners' Association (POA) is required for any planned unit developments. It is the POA's responsibility to maintain common areas that include landscaping, driveways, and parking areas. It is also possible that the POA will be required to maintain the outer walls, roofs, and shared areas within the buildings such as hallways and stairs. The developer has submitted the proposed Declaration of Covenants, Conditions and Restrictions which will be reviewed by the City Attorney.

Landscaping and Fencing Plan – A landscaping plan has been submitted to the City for staff and VAC review. The landscaping and fencing may help mitigate nuisance issue such as light and noise for surrounding residences. Normally fencing is not a requirement for commercial development but since a commercial condominium is a conditional use permit, fencing has been required to help mitigate nuisances. Fencing has been required along the southside of the parking lot and along the east side of the parking lot. The fencing will help shield vehicle lights from shining on the surrounding homes located in the commercial zone.

*Lighting Plan* – The applicant has submitted a statement that all lighting will have full cut-off as required by code. This requirement includes street lighting, commercial building lighting, and parking areas lighting. The purpose of the code is to assure the lights will comply the requirement of having full cut-off and to also assure that no light trespass will occur onto neighboring properties.

*Dumpster and Snow Storage Plan* – The developer has submitted a dumpster and snow storage plan. Dumpsters are required to be located in enclosures and the enclosures must be reviewed by the VAC. The applicant has also submitted a "Will-Serve" letter from Wasatch County Solid Waste Disposal District.

#### PLANNING COMMISSION RECOMMENDATION:

Motion: Commissioner Osborne: I make a motion that we recommend approval to subdivide the Robey Building of Springer Farms into a commercial condominium. The proposal would subdivide the Robey building into ten units. The Robey Building will consist of seven short-term rental units on the upper floor and three commercial units on the lower floor. The property is located at 65 N 200 W and is in the C3 zone. Accept the finding in the staff report with no conditions. Seconded: Commissioner Wardle Chairman Nicholas: Any discussion on the motion? Chairman Nicholas: All in favor. Ayes: Commissioners: Lineback, Osborne, Wardle, Miles Nays: None Motion: Passed

#### VISUAL AND ARCHITECTURAL COMMITTEE RECOMMENDATION:

The Visual and Architectural Committee (VAC) reviewed renderings for the proposed development during their meeting on December 14, 2022. Signage will need to be reviewed and approved when more information is submitted.

#### **POSSIBLE FINDINGS:**

- The proposal will benefit the City financially by creating a greater tax base and by providing more commercial options to the community.
- The proposal may help the City better comply with State requirements regarding the ability to collect resort tax.
- Commercial condominium developments are a conditional use in the C-3 zone.

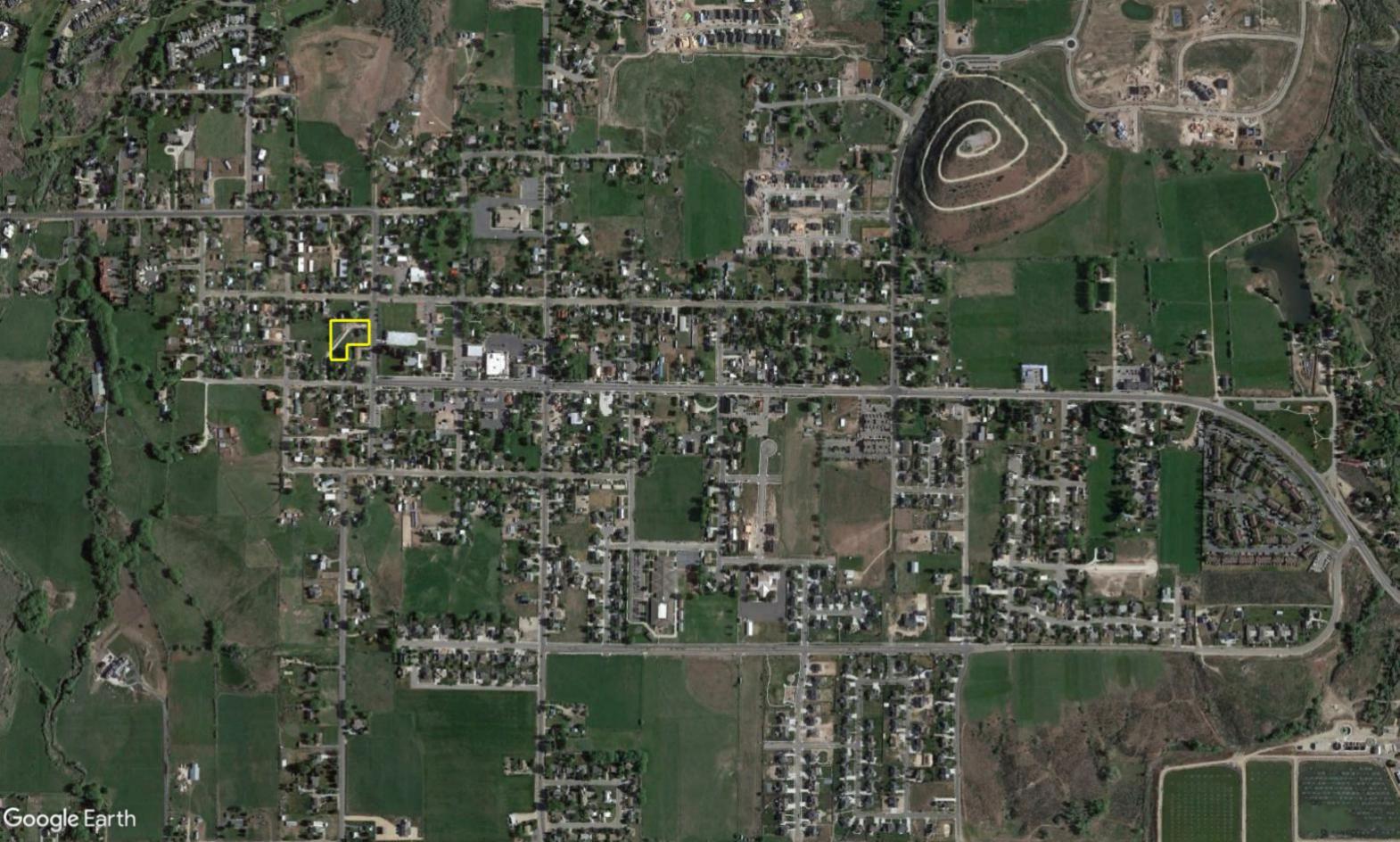
#### **ALTERNATIVE ACTIONS:**

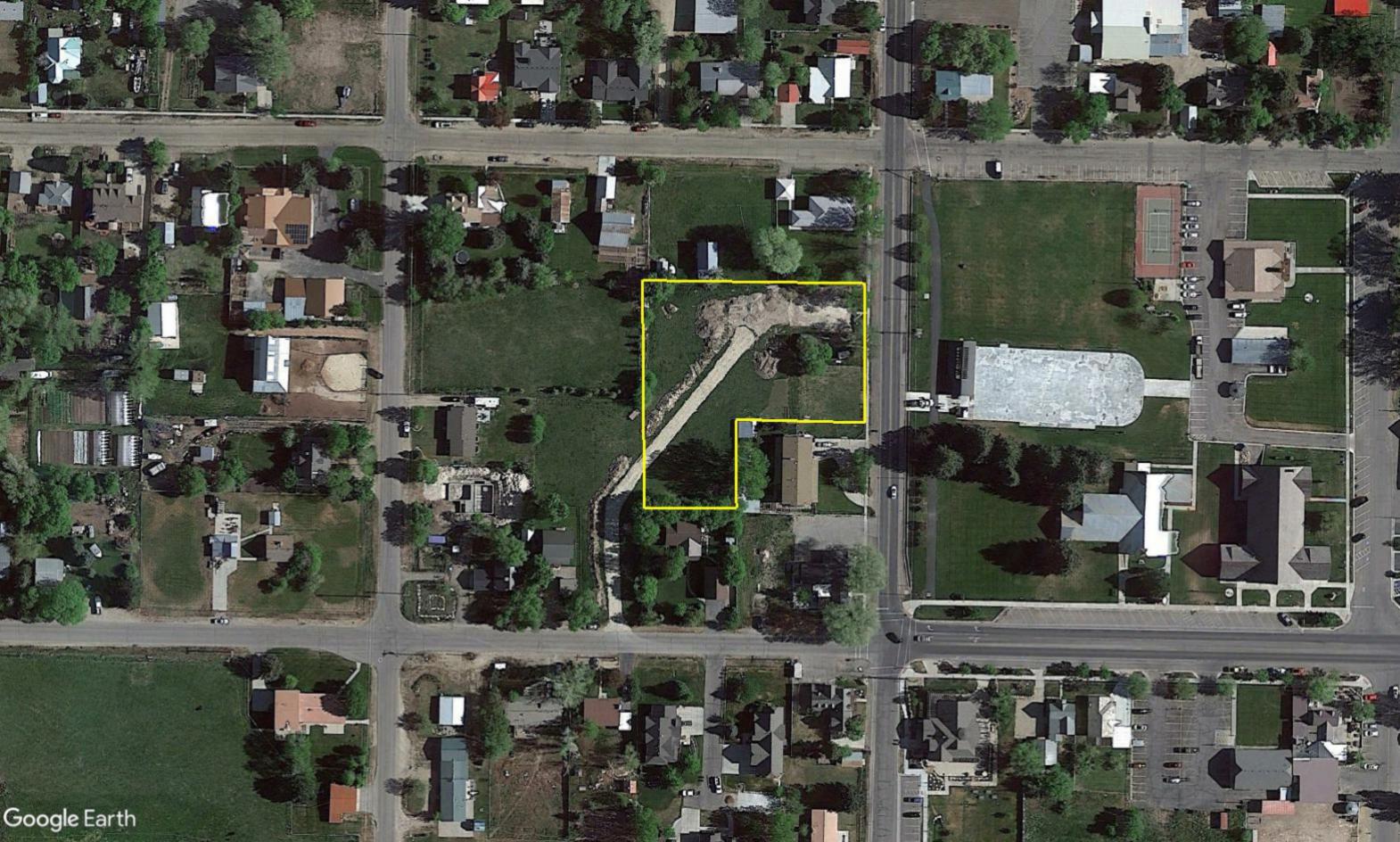
- 1. <u>Approval (conditional)</u>. This action can be taken if the City Council finds the proposal complies with the requirements of the code.
  - a. Accept staff report
  - b. List accepted findings
  - c. Place condition(s) if needed

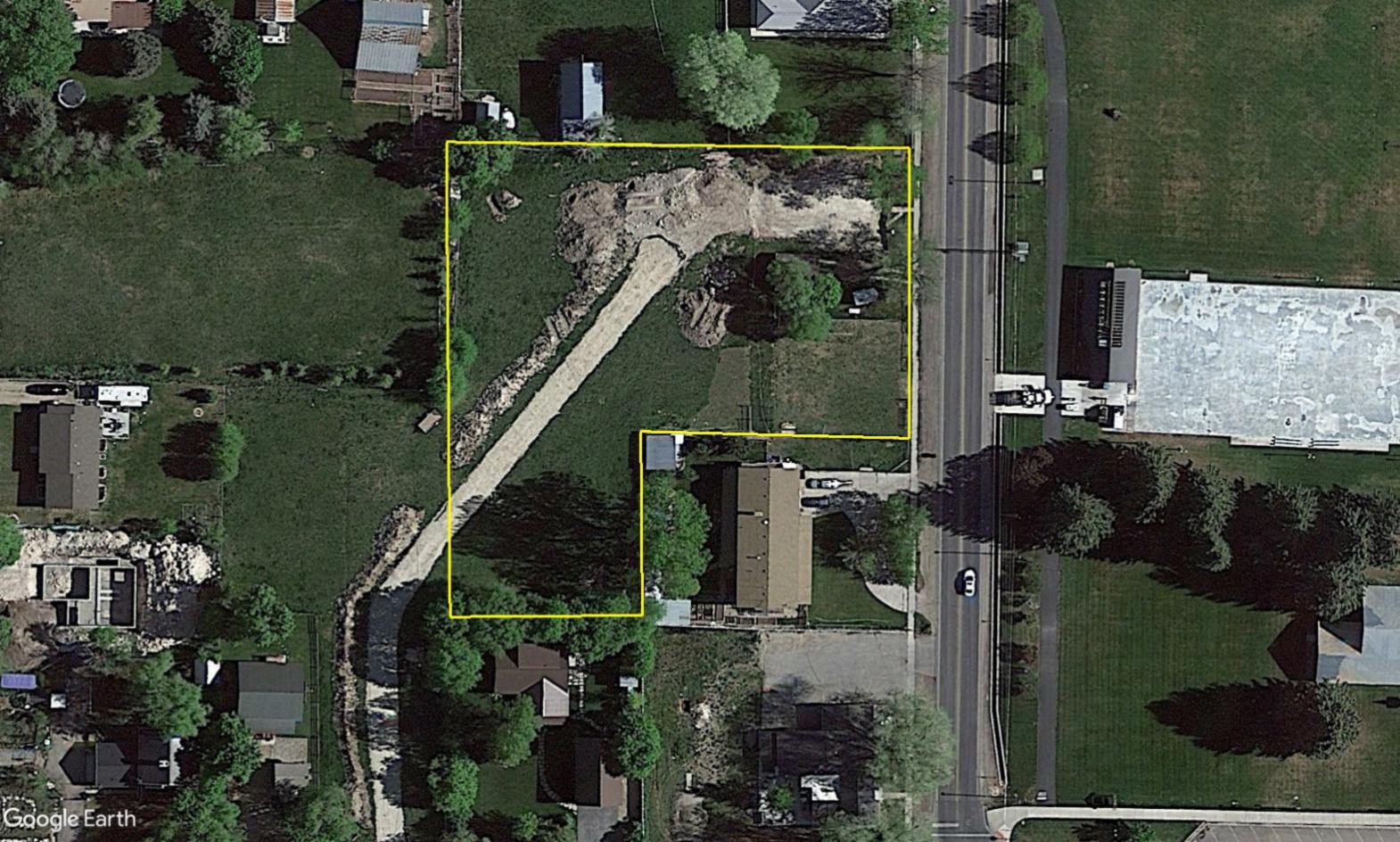
- 2. <u>Continuance</u>. This action can be taken if the City Council that there are unresolved issues.
  - a. Accept staff report
  - b. List accepted findings
  - c. Reasons for continuance
    - i. Unresolved issues that must be addressed
  - d. Date when the item will be heard again
- 3. <u>Denial</u>. This action can be taken if the City Council finds that the request does not comply with the requirements of the code.
  - a. Accept staff report
  - b. List accepted findings
  - c. Reasons for denial

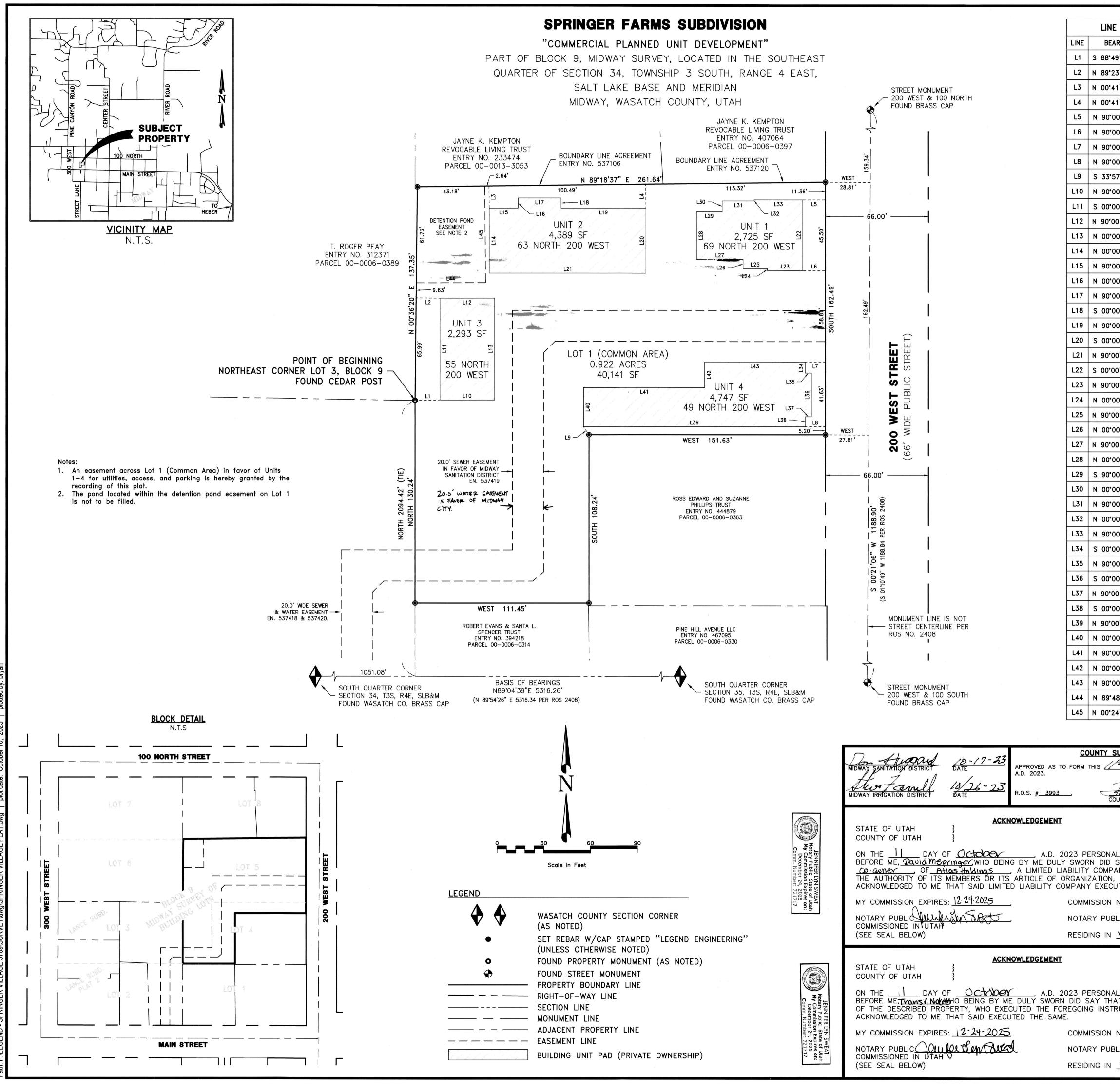
#### **PROPOSED CONDITIONS:**

1. None









|                                              | BOUNDARY DESCRIPTION                                                                                                                                                                                                                      |  |  |
|----------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--|--|
|                                              | BEGINNING AT THE NORTHEAST CORNER OF LOT 3, BLOCK 9, MIDWAY SURVEY OF BUILDING<br>LOTS, SAID POINT BEING NORTH 89'04'39" EAST 1051.08 FEET AND NORTH 2094.42 FEET                                                                         |  |  |
| RING LENGTH<br>9'24" W 15.94                 | FROM THE SOUTH QUARTER CORNER OF SECTION 34, TOWNSHIP 3 SOUTH, RANGE 4 EAST, SALT LAKE BASE AND MERIDIAN; THENCE NORTH 0°36'20" EAST 137.35 FEET; THENCE                                                                                  |  |  |
| 3'40" W 15.25                                | NORTH 89'18'37" EAST 261.64 FEET; THENCE SOUTH 162.49 FEET; THENCE WEST 151.63<br>FEET; THENCE SOUTH 108.24 FEET; THENCE WEST 111.45 FEET; THENCE NORTH 130.24                                                                            |  |  |
| 1'23" W 14.17                                | FEET TO THE POINT OF BEGINNING.                                                                                                                                                                                                           |  |  |
| 1'23" W 15.38                                | CONTAINS 1 LOT AND 4 UNITS<br>54,294 SQUARE FEET OR 1.246 ACRES, MORE OR LESS.                                                                                                                                                            |  |  |
| 0'00" E 14.59                                | BASIS OF BEARINGS                                                                                                                                                                                                                         |  |  |
| 0'00" E 14.59                                | THE BASIS OF BEARINGS FOR THIS SURVEY WAS ESTABLISHED AS NORTH 89'04'39" EAST<br>BETWEEN THE SOUTH QUARTER CORNER OF SECTION 34 AND SECTION 35, TOWNSHIP 3                                                                                |  |  |
| 0'00" E 13.01<br>0'00" E 13.01               | SOUTH, RANGE 4 EAST, SALT LAKE BASE AND MERIDIAN                                                                                                                                                                                          |  |  |
| 7'09" E 6.27                                 | SURVEYOR'S CERTIFICATE                                                                                                                                                                                                                    |  |  |
| 0'00" E 35.00                                | I, DON K. ROUNDY, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR IN THE<br>STATE OF UTAH HOLDING CERTIFICATE NUMBER 501180 AS PRESCRIBED BY TITLE 58, CHAPTER                                                                   |  |  |
| 0'00" E 65.50                                | 22 OF THE PROFESSIONAL ENGINEERS AND LAND SURVEYORS LICENSING ACT. I FURTHER<br>CERTIFY THAT BY THE AUTHORITY OF THE OWNERS, I HAVE MADE AN ACCURATE SURVEY OF<br>THE TRACT OF LAND SHOWN AND DESCRIPED HEREON IN ACCORDANCE WITH SECTION |  |  |
| 0'00" W 35.00                                | THE TRACT OF LAND SHOWN AND DESCRIBED HEREON IN ACCORDANCE WITH SECTION<br>17-23-17 OF THE UTAH STATE CODE, HAVE VERIFIED ALL MEASUREMENTS SHOWN AND HAVE<br>SUBDIVIDED SAID PROPERTY INTO LOTS AND UNITS HEREAFTER TO BE KNOWN AS        |  |  |
| 0'00" E 65.50                                | SUBDIVIDED SAID PROPERTY INTO LOTS AND UNITS HEREAFTER TO BE KNOWN AS                                                                                                                                                                     |  |  |
| 0'00" E 41.89                                | AND THAT THE SAME HAS BEEN SURVEYED AND MONUMENTS HAVE BEEN PLACED ON THE                                                                                                                                                                 |  |  |
| 0'00" E 18.59<br>0'00" E 6.48                | GROUND AS REPRESENTED ON THIS PLAT.                                                                                                                                                                                                       |  |  |
| 0'00" E 27.56                                | Date: October 6, 2023                                                                                                                                                                                                                     |  |  |
| 0'00" E 6.48                                 | Don K. Roundy<br>P.L.S. No. 501180                                                                                                                                                                                                        |  |  |
| 0'00" E 54.35                                |                                                                                                                                                                                                                                           |  |  |
| 0'00" E 41.89                                | TE OF UT OUND                                                                                                                                                                                                                             |  |  |
| 0'00" W 100.50                               | OWNER'S DEDICATION                                                                                                                                                                                                                        |  |  |
| 0'00" W 45.50<br>0'00" W 22.67               | KNOW ALL MEN BY THESE PRESENTS THAT I / WE, THE UNDERSIGNED OWNER(S) OF THE                                                                                                                                                               |  |  |
| 0'00" W 22.67<br>0'00" E 1.25                | ABOVE DESCRIBED TRACT OF LAND, HAVING CAUSED THE SAME TO BE SUBDIVIDED,<br>HEREAFTER TO BE KNOWN AS THE                                                                                                                                   |  |  |
| 0'00" W 15.50                                | SPRINGER FARMS SUBDIVISION                                                                                                                                                                                                                |  |  |
| 0'00" E 5.92                                 | DO HEREBY DEDICATE FOR PERPETUAL USE OF THE PUBLIC ALL PARCELS OF LAND, STREETS AND EASEMENTS SHOWN ON THIS PLAT AS INTENDED FOR PUBLIC USE.                                                                                              |  |  |
| 0'00" W 30.00                                | AND EASEMENTS SHOWN ON THIS PLAT AS INTENDED FOR PUBLIC USE.<br>IN WITNESS WHEREOF I HAVE HEREUNTO SET MY HAND THIS DAY OF OCTODEY<br>2023.                                                                                               |  |  |
| 0'00" E 30.58                                | ATLAS HOLDINGS, LLC                                                                                                                                                                                                                       |  |  |
| 0'00" E 16.48                                | TITLE CO-OWNER                                                                                                                                                                                                                            |  |  |
| 0'00" E 7.04<br>0'00" E 20.59                |                                                                                                                                                                                                                                           |  |  |
| 0'00" E 0.71                                 | PRINT NAME David M SPRINGER                                                                                                                                                                                                               |  |  |
| 0'00" E 31.10                                | SIGNATURE                                                                                                                                                                                                                                 |  |  |
| 0'00" E 7.15                                 | TRAVIS V. NOKES                                                                                                                                                                                                                           |  |  |
| 0'00" E 4.00                                 |                                                                                                                                                                                                                                           |  |  |
| 0'00" E 27.96                                | TITLE <u>Co-owner</u> .                                                                                                                                                                                                                   |  |  |
| 0'00" W 4.00<br>0'00" E 6.52                 | PRINT NAME TRAVIS V. Nokes                                                                                                                                                                                                                |  |  |
| 0'00" W 142.12                               | SIGNATURE                                                                                                                                                                                                                                 |  |  |
| 0'00" E 25.12                                |                                                                                                                                                                                                                                           |  |  |
| 0'00" E 77.62                                | ACCEPTANCE BY MIDWAY CITY<br>THE CITY COUNCIL OF MIDWAY CITY, WASATCH COUNTY, STATE OF UTAH, HEREBY APPROVES THIS                                                                                                                         |  |  |
| 0'00" E 16.50                                | SUBDIVISION SUBJECT TO THE CONDITIONS AND RESTRICTIONS STATED HEREON, AND HEREBY ACCEPTS THE DEDICATION OF ALL LOTS, STREETS, EASEMENTS, AND OTHER PARCEL OF LAND INTENDED FOR PUBLIC                                                     |  |  |
| 0'00" E 64.50                                | PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC, THIS $37$ Day of <u>November</u> 2023.                                                                                                                                                      |  |  |
| 8'06" E 44.27<br>4'20" W 62.10               | APPROVED WYOR ATTEST: CLERK-RECORDER                                                                                                                                                                                                      |  |  |
| + 20 W 02.10                                 | (SEE SEAL BELOW)                                                                                                                                                                                                                          |  |  |
|                                              | APPROVED In share & APPROVED OTh                                                                                                                                                                                                          |  |  |
| DAY OF CALCO                                 | CITY ENGINEER<br>(SEE SEAL BELOW)                                                                                                                                                                                                         |  |  |
| DAY OF Color,                                | PLANNING APPROVAL                                                                                                                                                                                                                         |  |  |
| UNTY SURVEYOR                                | APPROVED THIS 25th DAY OF October, A.D. 2023, BY THE MIDWAY CITY PLANNING COMMISSION.                                                                                                                                                     |  |  |
|                                              | What the When Coff Nicholas                                                                                                                                                                                                               |  |  |
|                                              | PLANNING DIRECTOR OF AIRMAN<br>SURVEYOR SEAL CITY ENGINEER SEAL CLERK/RECORDER SEAL                                                                                                                                                       |  |  |
|                                              | BOFEST                                                                                                                                                                                                                                    |  |  |
| LLY APPEARED<br>SAY THAT HE IS THE           | No. 501180                                                                                                                                                                                                                                |  |  |
| ANY, AND THAT BY<br>AND HE<br>JTED THE SAME. | DON KURT OS                                                                                                                                                                                                                               |  |  |
| NUMBER 721717.                               |                                                                                                                                                                                                                                           |  |  |
| LIG emilerelen Erred                         | OF UTAH                                                                                                                                                                                                                                   |  |  |
| Wasaton_county                               | LEGEND ENGINEERING                                                                                                                                                                                                                        |  |  |
|                                              | LEGEND ENGINEERING<br>52 WEST 100 NORTH<br>HEBER CITY, UT 84032                                                                                                                                                                           |  |  |
|                                              | ENGINEERING PHONE: 435-654-4828<br>www.legendengineering.com                                                                                                                                                                              |  |  |
|                                              |                                                                                                                                                                                                                                           |  |  |
| LLY APPEARED<br>AT HE IS THE OWNER           |                                                                                                                                                                                                                                           |  |  |
|                                              | Recorder 6/26/23                                                                                                                                                                                                                          |  |  |
| RUMENT AND                                   | ENTRY # 538305 BOOK 1457 PAGE 1085 SCALE: $1''=40'$                                                                                                                                                                                       |  |  |
|                                              | ENTRY # 538305 BOOK 1457 PAGE 1085<br>DATE NOV 1 2023 TIME 11:22 AM FEE # 58.00<br>FOR ATLAS HOLDING LLC/ TRAVIS NOKES PAGE:                                                                                                              |  |  |
| RUMENT AND                                   | ENTRY # 538305 BOOK 1457 PAGE 1085<br>DATE Nov 1 2023 TIME 11:22 AM FEE # 58.00<br>EOD ATLAS HOLDING 116 / TRAVIS NOV 55                                                                                                                  |  |  |



## GENERAL NOTES

- INTERIOR WALLS AND CEILING FINISHES IN EXIT ACCESS CORRIDORS, ROOMS AND ENCLOSED SPACES SHALL BE NOT LESS THAN A CLASS 'C' RATING, SEE IBC 803.5. INTERIOR FLOOR FINISHES IN VERTICAL EXITS, EXIT PASSAGEWAYS AND EXIT ACCESS CORRIDORS SHALL NOT BE LESS THAN A CLASS II RATING, SEE IBC 804.4.
- ALL CONSTRUCTION SHALL MEET THE CONSTRUCTION STANDARDS FOR A TYPE VB, SPRINKLED BUILDING IN ACCORDANCE WITH INTERNATIONAL BUILDING CODE 2021 EDITION. CONSTRUCTION SHALL MEET THE REQUIREMENTS FOR THE CITY OF MIDWAY, STATE OF UTAH.
- CONTRACTOR TO MAINTAIN A COMPLETE, TOP QUALITY, "AS BUILT" DRAWINGS FOR SUBMITTAL TO ARCHITECT UPON COMPLETION OF CONSTRUCTION.
- WOOD AND COMBUSTIBLE MATERIALS IN CEILINGS AND CONCEALED SPACES IS TO BE CONSTRUCTED PER IBC 603.
- NO VINYL ASBESTOS OR OTHER HAZARDOUS MATERIALS SHALL BE INSTALLED AS PART OF THIS WORK. ALL STRICTLY REGULATED MATERIALS SHALL MEET ALL STATE AND FEDERAL REGULATIONS.
- ALL FURRING AND BLOCKING SHALL MEET THE REQUIREMENTS OF IBC 603
- THE CONTRACTOR SHALL THOROUGHLY EXAMINE THE PREMISES AND SHALL BASE HIS BID ON THE EXISTING CONDITIONS. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES BETWEEN THE DRAWINGS AND THE ACTUAL FIELD CONDITIONS. EACH TRADE SHALL EXAMINE THE PREMISES PRIOR TO COMMENCING HIS WORK TO INSURE THAT CONDITIONS ARE APPROPRIATE FOR HIS WORK TO COMMENCE. AREAS NOT APPROPRIATE SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT. COMMENCING WORK IMPLIES ACCEPTANCE OF EXISTING CONDITIONS.
- COORDINATE ALL DIMENSIONS, CONDITIONS AND DETAILS WITH STRUCTURAL, CIVIL, LANDSCAPE, MECHANICAL, PLUMBING, ELECTRICAL, FIRE PROTECTION DRAWINGS AND MATERIAL SUPPLIERS.
- ALL SECURITY DEVICES MUST BE PHYSICALLY INTEGRATED. FREESTANDING PEDESTALS OR HANGING DEVICES CONTAINING SENSOR EQUIPMENT ARE PROHIBITED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL MATERIALS AND WORKMANSHIP IN ACCORDANCE WITH THE APPLICABLE INTERNATIONAL BUILDING CODE. HANDICAPPED-ACCESSIBILITY CODE, AND ALL APPLICABLE ORDINANCES INCLUDING STATE AND LOCAL BUILDING CODES AND REQUIREMENTS.
- THE CONTRACTOR SHALL CONFIRM IN WRITING, APPROXIMATE ON-SITE DELIVERY DATES FOR ALL CONSTRUCTION ITEMS AND MATERIALS AS REQUIRED BY THE CONSTRUCTION DOCUMENTS, AND SHALL NOTIFY THE ARCHITECT IN WRITING OF ANY DELAYS AFFECTING OCCUPANCY.
- SUBSTITUTIONS, REVISIONS AND/OR CHANGES MUST HAVE PRIOR WRITTEN APPROVAL BY THE ARCHITECT AND OWNER.
- THE CONTRACTOR SHALL VERIFY THAT NO CONFLICTS EXIST IN THE LOCATION OF ANY AND ALL WORK INCLUDING BUT NOT LIMITED TO MECHANICAL, ELECTRICAL, TELEPHONE AND LIGHTING (INCLUDING PIPING, DUCTWORK AND CONDUIT,) AND THAT ALL CLEARANCES FOR INSTALLATION AND MAINTENANCE ARE PROVIDED.
- NO WORK DEFECTIVE IN CONSTRUCTION OR QUALITY, OR DEFICIENT IN ANY REOUIREMENT OF THE CONTRACT DOCUMENTS WILL BE ACCEPTABLE. THE OWNER'S OR ARCHITECT'S FAILURE TO DISCOVER OR POINT OUT DEFICIENCIES OR DEFECTS DURING CONSTRUCTION SHALL NOT RELIEVE THE CONTRACTOR OF RESPONSIBILITIES. DEFECTIVE 'HIN THE TIME REOUIRED BY GUARANTEES SHALL BE REPLACED B' WORK CONFORMING TO THE INTENT OF THE CONTRACT. NO PAYMENT. EITHER PARTIAL OR FINAL SHALL BE CONSTRUED AS AN ACCEPTANCE OF DEFECTIVE WORK OR IMPROPER MATERIALS.
- THE CONTRACTOR SHALL TAKE CARE NOT TO DAMAGE EXISTING CONSTRUCTION AND SHALL BE RESPONSIBLE FOR REPAIRING ALL DAMAGES CAUSED BY THEMSELVES OR BY THEIR SUB-CONTRACTORS.
- THE CONTRACTOR SHALL REVIEW, APPROVE, STAMP, AND SUBMIT TO THE ARCHITECT, WITH REASONABLE PROMPTNESS, AND IN SUCH SEQUENCE AS TO CAUSE NO DELAY IN THE WORK, PRODUCT DATA, SHOP DRAWINGS AND SAMPLES FOR THE PROJECT
- BY APPROVING STAMPING, AND SUBMITTING SHOP DRAWINGS, PRODUCT DATA AND SAMPLES. THE CONTRACTOR REPRESENTS THAT THEY HAVE DETERMINED AND VERIFIED MATERIALS, FIELD MEASUREMENTS, AND FIELD CONSTRUCTION CRITERIA RELATED THERETO AND THAT THEY HAVE CHECKED AND COORDINATED THE INFORMATION WITHIN SUCH SUBMITTALS WITH THE REQUIREMENTS OF THE WORK AND CONTRACT DOCUMENTS.
- THE CONTRACTOR SHALL NOT BE RELIEVED OF RESPONSIBILITY FOR ANY DEVIATION FROM THE REQUIREMENTS OF THE CONTRACT DOCUMENTS BY THE ARCHITECT'S REVIEW OF THE SHOP DRAWINGS, PRODUCT DATA, OR SAMPLES.
- THE CONTRACTOR SHALL ASSIST IN THE COORDINATION OF "N.I.C." ITEMS INCLUDING FURNITURE INSTALLATION, EQUIPMENT INSTALLATION, TELEPHONE WORK, ETC.
- ALL PARTITIONING AND CEILINGS SHALL BE BRACED IN COMPLIANCE WITH THE REQUIREMENTS OF ALL APPLICABLE SEISMIC AND BUILDING CODES.

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- THE CONTRACTOR SHALL PROVIDE METAL BACKING PLATES, OR FIRE TREATED WOOD BLOCKING, AS REQUIRED IN WALLS BEHIND ALL WALL MOUNTED ITEMS OF CASEWORK, ACCESSORIES, ETC.
- THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ALL FIELD DIMENSIONS INDICATED BY "VERIFY" IN THE CONTRACT DOCUMENTS AND SHALL REVIEW ANY DISCREPANCIES WITH THE ARCHITECT BEFORE PROCEEDING.
- W. ALL CLEAR (CLR.) DIMENSIONS ARE NOT ADJUSTABLE WITHOUT ARCHITECT'S APPROVAL
- PRIOR TO CONSTRUCTION, DISCREPANCIES BETWEEN THE ARCHITECTURAL DRAWINGS, ENGINEERING DRAWINGS AND EXISTING CONDITIONS SHALL BE REPORTED TO THE ARCHITECT.
- Y. DIMENSIONS TAKE PRECEDENCE OVER SCALE OF THE DRAWING. DRAWINGS SHOULD NOT BE SCALED WITHOUT APPROVAL OF ARCHITECT.
- ALL TOILET ROOMS AND ELEVATIONS SHALL BE IN COMPLIANCE WITH CURRENT APPLICABLE CODES AS PER THESE DRAWINGS.
- AA. ALL DRAWINGS, NOTES, AND SPECIFICATIONS ARE CONSIDERED COMPLIMENTARY AND WHAT IS CALLED FOR BY ONE WILL BE BINDING TO ALL. ANY WORK SHOWN, OR REFERRED TO, IS BINDING TO ALL.
- BB ARCHITECT SHALL NOT BE LIABLE FOR WORK. REGARDING THE IDENTIFICATION, REPAIR REMOVAL OR ENCAPSULATION OF ASBESTOS OR OTHER HAZARDOUS MATERIALS. CONTRACTOR SHALL NOTIFY ARCHITECT AND OWNER IF ANY MATERIALS ENCOUNTERED REQUIRING TESTING OR ABATEMENT. ALL ASBESTOS IDENTIFICATION AND REMOVAL IS TO BE COMPLETED UNDER SEPARATE CONTRACT AND PRIOR TO COMMENCEMENT OF DEMOLITION AND/OR REMODELING WORK DESCRIBED IN OUR DOCUMENTS.

- **ABBREVIATIONS**
- AB ANCHOR BOLT ABV ABOVE
- ADJ ADJUSTABLE AFF ABOVE FINISH FLOOR
- AIA AMERICAN INSTITUTE OF ARCHITECTS ALUM ALUMINUM
- ARCH ARCHITECTURAL
- ASTM AMERICAN SOCIETY FOR TESTING MATERIALS DBA DEFORMED BAR ANCHOR
- BD BOARD
- BITUM BITUMINOUS BLDG BUILDING
- BM BENCHMARK
- BO BOTTOM OF BP BASE PLATE
- BRG BEARING
- BTWN BETWEEN CER CERAMIC
- CJ CONTROL / CONSTRUCTION JOINT CLG CEILING
- CLR CLEAR
- CMU CONCRETE MASONRY UNIT CONC CONCRETE
- CONT CONTINUOUS
- CONST CONSTRUCTION COORD COORDINATE
- CP CAP PLATE
- CTJ CONTRACTION JOINT DBL DOUBLE
- DEPT DEPARTMENT DET DETAIL
- DWGS DRAWINGS
- EA EACH EJ EXPANSION JOINT
- ELEV ELEVATION
- EQ EQUAL EW EACH WAY
- EXIST EXISTING
- EXPAN EXPANSION EXT EXTERIOR
- EWC ELECTRIC WATER COOLER
- FD FLOOR DRAIN FDTN FOUNDATION
- FE FIRE EXTINGUISHER
- FEC FIRE EXTINGUISHER CABINET FINISH FLOOR
- FLR FLOOR
- FT FEET / FOOT
- FTG FOOTING GA GAGE / GAUGE
- GAL GALLON
- GALV GALVANIZED GFCI GROUND FAULT CIRCUIT INTERUPTOR
- GPM GALLONS PER MINUTE
- GND GROUND GOVT GOVERNMENT
- GYP GYPSUM
- HC HANDICAPPED HDW HARDWARE
- HM HOLLOW METAL
- HORIZ HORIZONTAL HR HOUR
- HT HEIGHT HVAC HEATING / VENTILATION / AIR CONDITIONING
- HYD HYDRANT

MAX MAXIMUM MAT MATERIAL MCJ MASONRY CONTROL JOINT MECH MECHANICAL MFR MANUFACTURER MIN MINIMUM MISC MISCELLANEOUS MO MASONRY OPENING MTL METAL NIC NOT IN CONTRACT NO NUMBER NTS NOT TO SCALE OC ON CENTER OD OUTSIDE DIAMETER OF OUTSIDE FACE OH OVERHEAD OPP OPPOSITE PART PARTITION PCF POUNDS PER CUBIC FOOT PERP PERPENDICULAR PL PLATE PLF POUNDS PER LINEAL FOOT PNTD PAINTED PROT PROTECTION PSF POUNDS PER SQUARE FOOT PSI POUNDS PER SQUARE INCH QTY QUANTITY RD ROOF DRAIN RAD RADIUS REINF REINFORCED REQ'D REQUIRED RM ROOM RO ROUGH OPENING SCHED SCHEDULE SDI STEEL DECK INSTITUTE SHR SHOWER SHT SHEET SIM SIMILAR

INSIDE DIAMETER

INSIDE FACE

IN INCHES

INFO INFORMATION

INSUL INSULATION

LAV LAVATORY

LT WT LIGHT WEIGHT

MAINT MAINTENANCE

LT LIGHT

- SPEC SPECIFICATION STC SOUND TRANSMISSION
- COEFFICIENT
- STD STANDARD STIFF STIFFENER
- STRUCT STRUCTURAL
- SUSP SUSPENDED TBC TOP BACK OF CURB
- THRU THROUGH TO TOP OF
- TOA TOP OF ASPHALT
- TOF TOP OF FOOTING TOS TOP OF SLAB OR SIDEWALK
- TOW TOP OF WALL
- TYP TYPICAL UNO UNLESS NOTED OTHERWISE
- VCT VINYL COMPOSITION TILE VERT VERTICAL
- VEST VESTIBULE
- WD WOOD WWF WELDED WIRE FABRIC
- SYMBOL LEGEND

#### (A)------GRID LINES

DETAIL SYMBOL XX - DETAIL REFERENCE XXXX ---- SHEET REFERENCE WALL SECTION SYMBOL XX SECTION REFERENCE XXXX +— SHEET REFERENCE BUILDING SECTION SYMBOL XX - SECTION REFERENCE XXXX +---- SHEET REFERENCE EXTERIOR ELEVATION SYMBOL XX - ELEVATION REFERENCE XXXX 🚣 - SHEET REFERENCE INTERIOR ELEVATION SYMBOL XX (XXXX) XX - ELEVATION REFERENCE, TYPICAL - SHEET REFERENCE UPPER 👡 ROOM SYMBOL LOWER ROOM NAME 000 ---- ROOM NUMBER CEILING SYMBOI - CEILING TYPE XX -CEILING HEIGHT 8'-0" MAIN LEVEL ELEVATION CONTROL OR DATUM POINT WINDOW OR STOREFRONT NUMBER [W01] 001 DOOR NUMBER

- WALL TYPE REFERENCE
- 000 **KEYNOTE REFERENCE**

M: 801.725.9900

ARCHITECT

4478 W DORENA LN SOUTH JORDAN, UT 84009 B: 801.597.7641 M: 801.597.7641 CONTACT: PAUL NIELSEN EMAIL: paul@order-arch.com CIVIL ENGINEER LEGEND ENGINEERING

52 WEST 100 NORTH HEBER CITY, UT 84032 B: 435.654.4828 CONTACT: CAL JOHNSON EMAIL: cal@legendengineering.com

# SPRINGER TRIPLET

# 49 NORTH 200 WEST MIDWAY, UTAH 84049

# **PROJECT IMAGE**

# **CODE INFORMATION**



#### 2020 NATIONAL ELECTRICAL CODE 2021 INTERNATIONAL PLUMBING CODE 2021 INTERNATIONAL MECHANICAL CODE

2021 NATIONAL FIRE CODE

2021 INTERNATIONAL BUILDING CODE

2021 INTERNATIONAL ENERGY CONSERVATION CODE ICC/ANSI A117.1-2017 ACCESSIBILITY CODE

JURISDICTION: MIDWAY, UTAH

| NERAL:                              |                |            |
|-------------------------------------|----------------|------------|
| TYPE OF CONSTRUCTION:               | VB             |            |
| OCCUPANCY CLASSIFICATION:           | M (MAIN LEV    | VEL) & R-1 |
| SEPARATION:                         | NON-SEPARA     |            |
| FIRE SPRINKLERS:                    | YES, NFPA 13   | 3          |
| BUILDING ELEMENT FIRE RATING:       | 1-HOUR SOU     | TH EXTER   |
| <b>RESIDENTIAL FIRE SEPARATION:</b> | SEE SHEET A    | 100 & A10  |
| GROSS BUILDING AREA:                | 8,600 S.F.     |            |
| MAIN LEVEL:                         | 3,922 S.F.     |            |
| SECOND LEVEL:                       | 4,678 S.F. (IN | CLUDING I  |
| NUMBER OF STORIES/ HEIGHT:          | 2 STORY / 33   | '-11"      |
| REQUIRED MEANS OF EGRESS:           | 2 EXIT REQU    | IRED AS P  |
| COMMON PATH OF EGRESS:              | 75' AS PER IB  |            |
| EXIT ACCESS TRAVEL DISTANCE:        | 250' AS PER I  | BC TABLE   |
| OCCUPANT LOAD:                      | 89 (SEE OCCU   | UPANCY S   |
| MAIN LEVEL:                         | 65 OCCUPAN     |            |
| SECOND LEVEL:                       | 25 OCCUPAN     |            |
|                                     |                |            |
| LOWABLE BUILDING HEIGHT & AREA (IB  | C CHAPTER 5):  |            |
| BASIC ALLOWABLE HEIGHT:             | 60'-0" (M/R-1) | )          |
| BASIC ALLOWABLE STORIES:            | 2-STORY (M)    | 1          |
| BASIC ALLOWABLE AREA FACTOR:        | 21,000 S.F. (R | -1, SM)    |
|                                     |                | . ,        |
| UMBING FIXTURE ANALYSIS (IBC CHAPTI | ER 29):        |            |
| BUILDING WATER CLOSETS REQUIR       | ED:            | 1/500 =    |
| BUILDING LAVATORIES REQUIRED:       |                | 1/750 =    |
| BUILDING SERVICE SINKS REQUIREI     | ):             | 1 (1 PRO   |
| BUILDING DRINKING FOUNTAINS RE      | EQUIRED:       | 0 (PER ]   |
|                                     |                |            |
| ERGY CODE VALUES - PRESCRIPTIVE VAL | LUES PER IECC  | TABLE C4   |
| ROOFS - ATTIC & OTHER:              |                | R-49       |
| WALLS, ABOVE GRADE - WOOD FRA       | MED:           | R-20 BA    |
| 2 { BELOW-GRADE WALL (CRAWL SPAC    | CE):           | R-10 CC    |
| FLOORS - JOIST/FRAMING:             |                | R-38       |
| SLAB-ON-GRADE FLOORS - UNHEATI      | ED SLABS:      | R-20 FC    |
| OPAQUE DOORS, SWINGING:             |                | 0.37 U-V   |

VERTICAL, FIXED FENESTRATION (PF=0.5): VERTICAL, OPERABLE FENESTRATION (PF=0.5): VERTICAL, ENTRANCE DOORS (PF=0.5):

# DAVID SPRINGER / TRAVIS NOKES

1041 LIME CANYON WAY MIDWAY, UTAH 84049

CONTACT: TRAVIS NOKES EMAIL: travis@blackoakutah.com

# **ORDER ARCHITECTURE**

### STRUCTURAL ENGINEER YORK ENGINEERING

PLU

4883 OLD HIGHWAY ROAD MORGAN, UTAH 84050 B: 801.876.3501 M: CONTACT: MIKE DENT EMAIL: mike@yorkengr.com ELECTRICAL ENGINEER

### **ROCKY MOUNTAIN** CONSULTING ENGINEERS, INC.

2332 W. 12600 S. SUITE F RIVERTON, UTAH 84065 B: 801.566.0503 M: 385.228.5551 **CONTACT: DUSTIN HUGHES** EMAIL: dustin@rmceut.com MECHANICAL ENGINEER

JTB HVAC & PLUMBING ENGINEERING

922 W BAXTER DRIVE, SUITE 100 SOUTH JORDAN, UTAH 84095 B: 801.849.8590 M: 801.707.5011 CONTACT: JEFF BROWN EMAIL: Jeff.Brown@JTBEngineering.net

I (SECOND LEVEL) ERIOR WALL PER IBC TABLE 601 & 705.3

BALCONIES)

PER TABLE 1006.2.1 1006.2.1

E 1017.2 SCHEDULE ON A100)

= 1 (2 PROVIDED) 1 (2 PROVIDED) ROVIDED) R IBC SECTION 2902.6)

2402.1.4 (ZONE 6) BATT + R3.8 CONTINUOUS

CONTINUOUS } OR 24" BELOW .3/U-VALUE 0.34 U-VALUE +SHGC = 0.61

0.42 U-VALUE +SHGC = 0.540.63 U-VALUE +SHGC = 0.54

# **INDEX OF DRAWINGS**

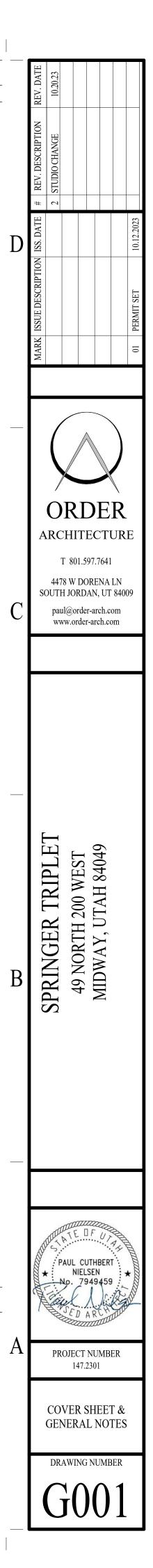
| SHT. NO.        | SHEET TITLE                                         |
|-----------------|-----------------------------------------------------|
|                 |                                                     |
| GENERAL<br>G001 | COVER SHEET & GENERAL NOTES                         |
| 0001            | COVER SHEET & GENERAL NOTES                         |
| CIVIL           |                                                     |
| C-0             | CIVIL COVER SHEET                                   |
| C-1             | SITE PLAN                                           |
| C-2             | GRADING PLAN                                        |
| C-3             | OVERALL UTILITY PLAN                                |
| C-3.1           | STA 0+00 - 4+00                                     |
| C-3.2           | STA 4+00 - 7+30                                     |
| C-4             | DETAILS                                             |
| C-4.1           | HYDROLOGY DETAILS                                   |
| C-4.2           | STORMTECH DETAILS                                   |
| C-4.3           | UTILITY DETAILS                                     |
| C-4.4           | UTILITY DETAILS                                     |
| C-5             | STORMWATER POLLUTION PREVENTION PLAN                |
| C-6             | SWPPP DETAILS                                       |
| ARCHITECTU      | ΦΛΙ                                                 |
| Allo0           | EXITING & OCCUPANCY PLANS                           |
| A100<br>A100a   | SEPARATIONS/ LISTING INFO                           |
| A101            | MAIN LEVEL FLOOR PLAN                               |
| A102            | SECOND LEVEL FLOOR PLAN                             |
| A102a           | ENLARGED SECOND LEVEL FLOOR PLAN - AREA A           |
| A102b           | ENLARGED SECOND LEVEL FLOOR PLAN - AREA B           |
| A105            | ROOF PLAN                                           |
| A111            | REFLECTED CEILING PLAN                              |
| A112            | REFLECTED CEILING PLAN                              |
| A131            | FOOTING AND FOUNDATION PLAN                         |
| A201            | EXTERIOR ELEVATIONS                                 |
| A202            | EXTERIOR ELEVATIONS                                 |
| A301            | BUILDING SECTIONS                                   |
| A302            | BUILDING SECTIONS                                   |
| A401            | ENLARGED PLAN, INTERIOR ELEVATIONS & FINISH SCHEDUI |
| A405            | ENLARGED STAIR PLANS & SECTIONS                     |
| A501            | ARCHITECTURAL DETAILS                               |
| A502            | ARCHITECTURAL DETAILS                               |
| A601            | WALL TYPES, DOOR & WINDOW SCHEDULES                 |
| STRUCTURA       | [.                                                  |
| S110010101      | FOOTING / FOUNDATION PLAN                           |
| S2              | LOWER FLOOR FRAMING PLAN                            |
| S3              | UPPER FLOOR / LOWER ROOF FRAMING PLAN               |
| S4              | ROOF FRAMING PLAN                                   |
| SD1             | DETAILS & NOTES                                     |
| SD2             | DETAILS & NOTES                                     |
| SD3             | DETAILS & NOTES                                     |
| WSWH1           | STRONG-WALL WSWH                                    |
| WSWH2           | STRONG-WALL WSWH                                    |
|                 |                                                     |
|                 | L/PLUMBING                                          |
| M000            | MECHANICAL & PLUMBING TITLE SHEET                   |
| M101            | LEVEL 1 MECHANICAL PLAN                             |
| M102            | LEVEL 2 MECHANICAL PLAN<br>MECHANICAL DETAILS       |
| M501<br>M701    | MECHANICAL DETAILS<br>MECHANICAL SCHEDULES          |
| P101            | LEVEL 1 PLUMBING PLANS                              |
| P102            | LEVEL 2 PLUMBING PLANS                              |
| P501            | PLUMBING DETAILS                                    |
| P701            | PLUMBING SCHEDULES                                  |
|                 |                                                     |
| ELECTRICAL      |                                                     |
| E000            | ELECTRICAL GENERAL SHEET                            |
| E001            | ELECTRICAL SITE PLAN                                |
| E101            | MAIN LEVEL LIGHTING PLAN                            |
| E102            | SECOND LEVEL LIGHTING PLAN                          |
| E201            | MAIN LEVEL POWER PLAN                               |
| E202            | SECOND LEVEL POWER PLAN                             |
| E501            | ELECTRICAL DETAILS                                  |
| E601            | ELECTRICAL SCHEDULES                                |
| E602            | ELECTRICAL SCHEDULES                                |
| E603            | ELECTRICAL SCHEDULES                                |
|                 |                                                     |

### DEFERRED SUBMITTALS

SIGNAGE (SEPARATE PERMIT)

FIRE SPRINKLER SYSTEM. FIRE ALARM SYSTEM.

PREMANUFACTURED ROOF TRUSSES.





В

C1 WEST ELEVATION A201 3/16" = 1'-0"  $\wedge$ 6

(A)

5' - 0"

8' - 0" FOUNDATION SETBACK

PROPERTY LINE -

(c)

FAUX WINDOW

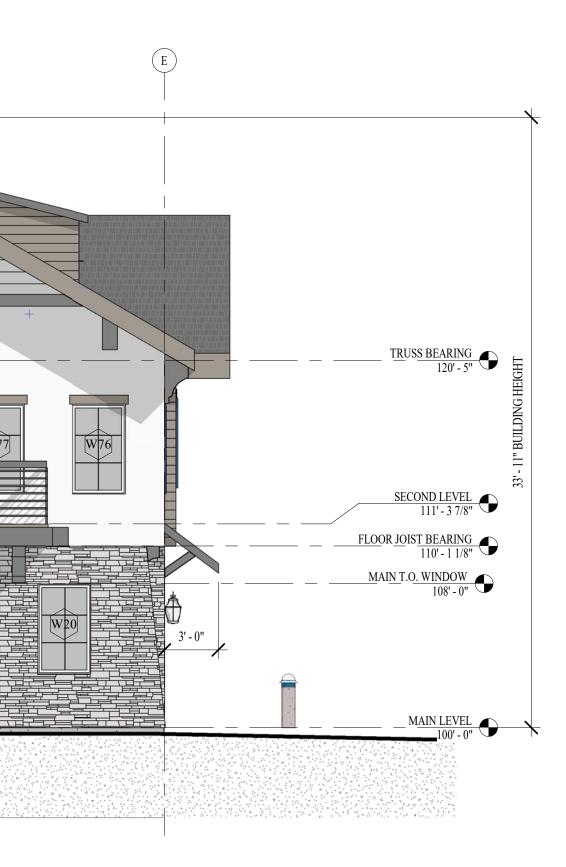


2





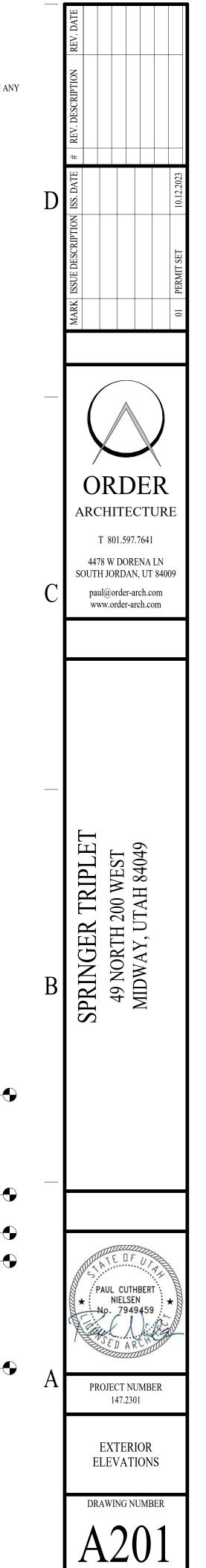




### EXTERIOR ELEVATION GENERAL NOTES:

- A. SEE SHEET A601 FOR DOOR AND WINDOW SCHEDULES. В.
- SAND PLASTER EXPOSED SURFACES OF FOUNDATION WALL. DOWNSPOUT LOCATIONS TO BE AS UNOBTRUSIVE AS POSSIBLE AND TO BE RUN C.
- UNDERGROUND COORDINATE WITH CIVIL DRAWINGS.
- CHIMNEY HEIGHT TO BE 36" TALLER THAN ADJOINING ROOF AND 24" HIGHER THAN ANY D. ROOF WITH IN 10' HORIZONTAL. COORDINATE / VERIFY ALL FINISHES WITH OWNER.











3

2

3

4

4

### **EXTERIOR ELEVATION GENERAL NOTES:**

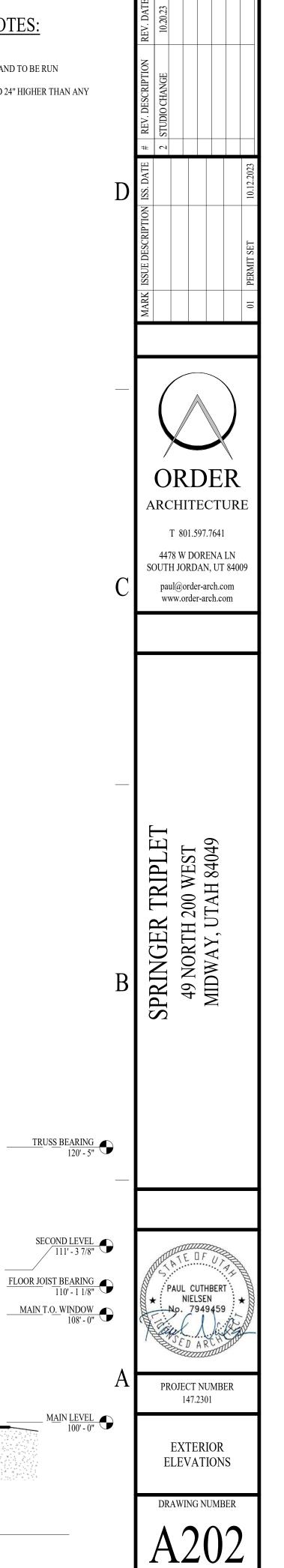
- A. SEE SHEET A601 FOR DOOR AND WINDOW SCHEDULES.
  B. SAND PLASTER EXPOSED SURFACES OF FOUNDATION WALL.
  C. DOWNSPOUT LOCATIONS TO BE AS UNOBTRUSIVE AS POSSIBLE AND TO BE RUN UNDERGROUND COORDINATE WITH CIVIL DRAWINGS.
- D. CHIMNEY HEIGHT TO BE 36" TALLER THAN ADJOINING ROOF AND 24" HIGHER THAN ANY

6

1' - 10 1/4" 1' - 0 3/4"

W24

ROOF WITH IN 10' HORIZONTAL. E. COORDINATE / VERIFY ALL FINISHES WITH OWNER.



5

 $\wedge$ 

W25

W83

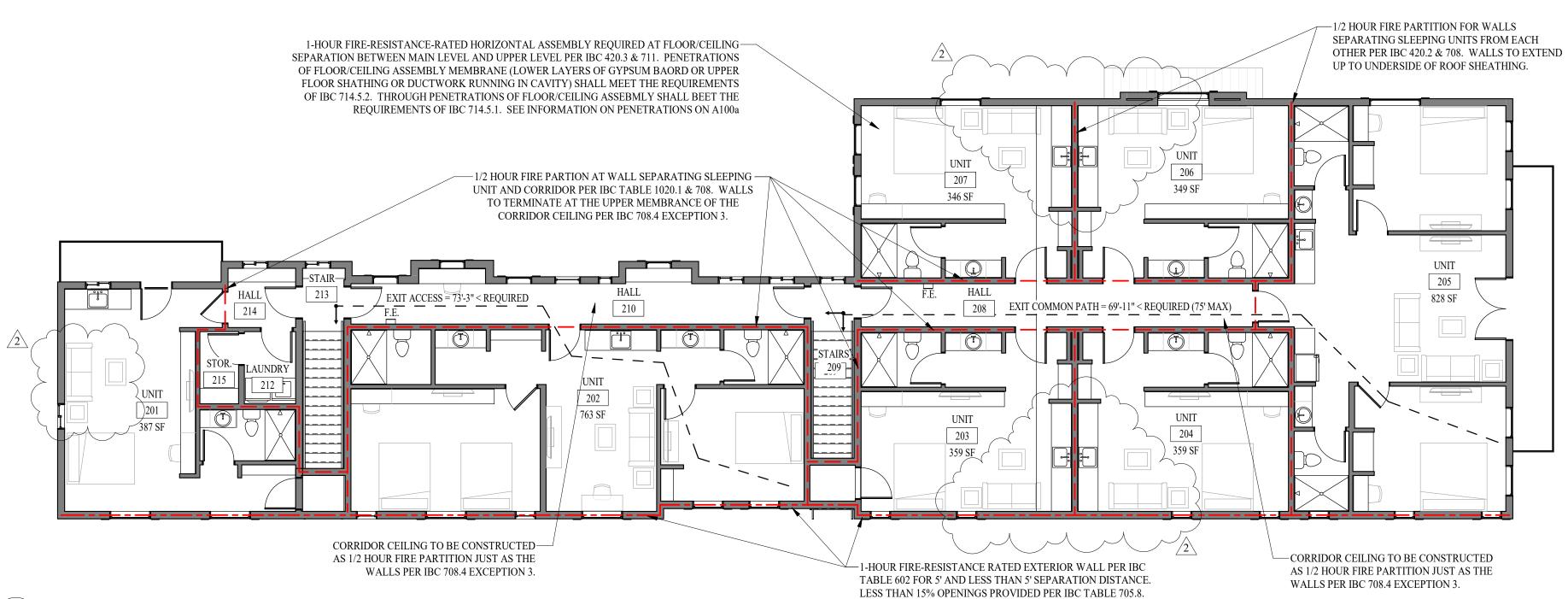


Π

MAIN LEVEL EXITING FLOOR PLAN A2 A100 1/8" = 1'-0"

RESTROO EXIT 8 OCC. UNIT 103 423 SF EXIT - 12 OCC 1-HOUR FIRE-RESISTANCE RATED EXTERIOR WALL PER IBC-TABLE 602 FOR 5' AND LESS THAN 5' SEPARATION DISTANCE. LESS THAN 25% OPENINGS PROVIDED PER IBC TABLE 705.8.

C2 SECOND LEVEL EXITING PLAN C2 SECOND L! A100 1/8" = 1'-0"



D

WHERE *FIRE PARTITIONS* DO NOT EXTEND TO THE UNDERSIDE OF THE ROOF SHEATHING THE SPACE ABOVE AND ALONG THE LINE OF THE <u>FIRE PARTITION</u> SHALL BE PROVIDED WITH ONE OF THE FOLLOWING:

- <u>FIREBLOCKING</u> UP TO THE UNDERSIDE OF THE FLOOR OR ROOF SHEATHING, DECK OR SLAB ABOVE USING MATERIALS COMPLYING WITH <u>SECTION 718.2.1</u>. 1.

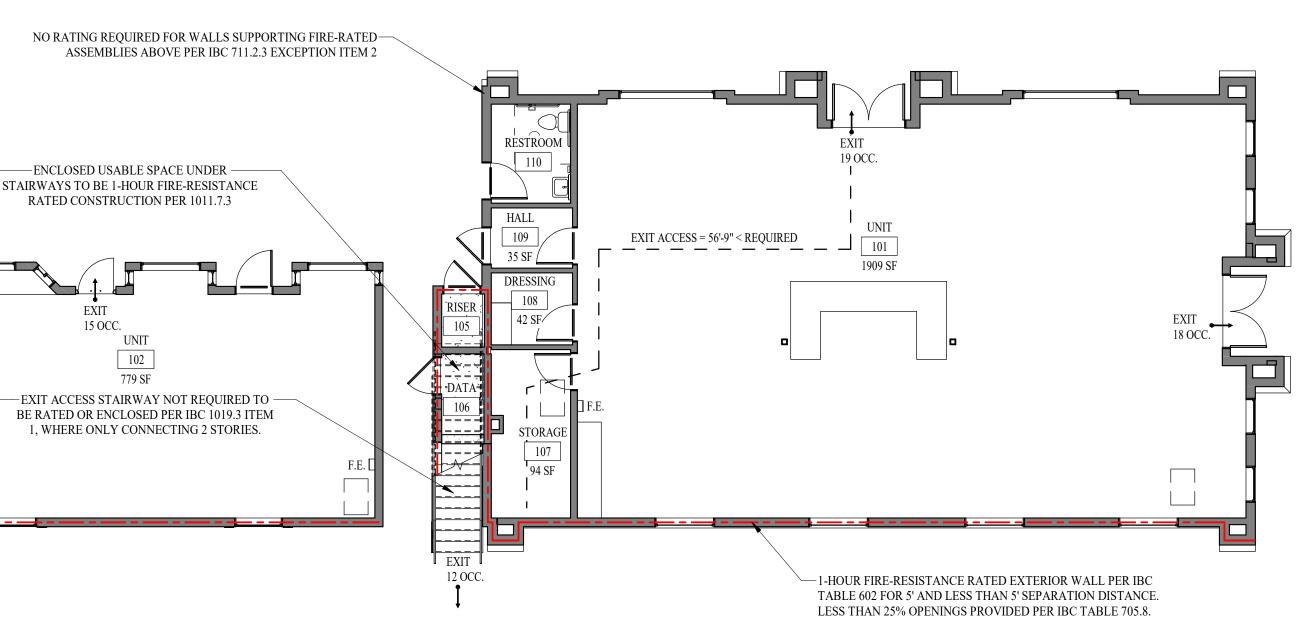
- DRAFTSTOPPING UP TO THE UNDERSIDE OF THE FLOOR OR ROOF SHEATHING, DECK OR SLAB ABOVE

2.

USING MATERIALS COMPLYING WITH SECTION 718.3.1 FOR FLOORS OR SECTION 718.4.1 FOR ATTICS.

EXCEPTION: WHERE <u>CORRIDOR WALLS</u> PROVIDE A <u>SLEEPING UNIT</u> OR <u>DWELLING UNIT</u> SEPARATION, DRAFTSTOPPING SHALL ONLY BE REQUIRED ABOVE ONE OF THE <u>CORRIDOR WALLS</u>.

PROVIDE OPENINGS IN FIREBLOCKING/DRAFTSTOPPING TO ALLOW ACCESS INTO ALL ATTIC SPACES. OPENING SHALL BE PROTECTED BY SELF-CLOSING 20 MINUTE RATED DOORS WITH AUTOMATIC LATCHES.



### FLOOR PLAN GENERAL NOTES:

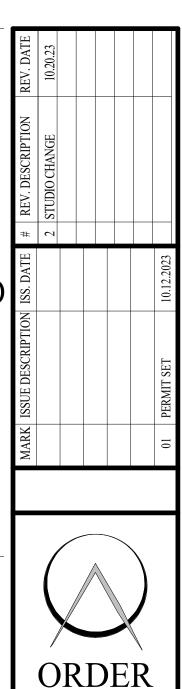
- GENERAL NOTES APPLY TO ALL DRAWINGS. А. ALL DIMENSIONS ARE TO FINISH FACE OF WALL OR TILE SUBSTRATE В.
- UNLESS OTHERWISE NOTED. DO NOT SCALE DRAWINGS. C.
- CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF ALL D.
- DIMENSIONS AND FIELD CONDITIONS PRIOR TO ORDERING OR INSTALLING MATERIALS OR EQUIPMENT.
- ALL MATERIALS FOR USE IN THIS PROJECT SHALL BE NEW AND UNUSED E.
- UNLESS NOTED OTHERWISE. ALL ASPECTS OF THE WORK AND ITEMS NOT SPECIFICALLY MENTIONED, BUT WHICH ARE NECESSARY TO MAKE A COMPLETE WORKING
- INSTALLATION. SHALL BE INCLUDED, AND INDICATED IN THE CONTRACTORS BID.
- THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS ARE G. RESPONSIBLE FOR PROPER REMOVAL AND DISPOSAL OF ALL DEBRIS GENERATED BY CONSTRUCTION OF THIS PROJECT. THE REMOVAL AND DISPOSAL OF ALL CONSTRUCTION DEBRIS SHALL BE IN FULL COMPLIANCE WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS. THE PREMISES SHALL BE KEPT CLEAN AND FREE FROM ALL WASTE MATERIALS.
- GENERAL CONTRACTOR SHALL PROTECT NEW CONSTRUCTION FROM H. DAMAGE BY ALL TRADES. ALL SUCH DAMAGE CAUSED BY THE CONTRACTORS AND SUBCONTRACTORS DURING THE COURSE OF THIS WORK SHALL BE REPAIRED OR REPLACED AT THE CONTRACTORS EXPENSE.
- ALL PIPING AND CONDUITS SHALL BE CONCEALED WITHIN WALLS, UNDERGROUND, ABOVE CEILING OR IN ARCHITECTS APPROVED UTILITY SPACES IN ALL CASES UNLESS NOTED OTHERWISE ON THE DRAWINGS. EXPOSED ITEMS MUST BE LOCATED IN AREAS APPROVED BY THE ARCHITECT. EXPOSED ITEMS SHALL BE INSTALLED AND FINISHED TO PROVIDE MINIMAL VISUAL IMPACT. ALL EXPOSED ITEMS ARE TO BE PAINTED TO MATCH THE ADJACENT SURFACES UNLESS SCHEDULED FOR AN ACCENT COLOR
- GENERAL CONTRACTOR TO COORDINATE WITH OWNER WITH REGARDS TO ALL INTERIOR FINISHES AND MATERIALS FOR PRODUCTS AND INSTALLATION.
- GENERAL CONTRACTOR TO COORDINATE ALL RESTROOM ACCESSORIES Κ. WITH OWNER. SEE MOUNTING HEIGHT DETAILS ON A501.
- SEE DETAILS B2, B3 & B4 ON SHEET A502 FOR EXTERIOR WALL LOCATIONS IN RELATIONSHIP TO FOUNDATION WALL.

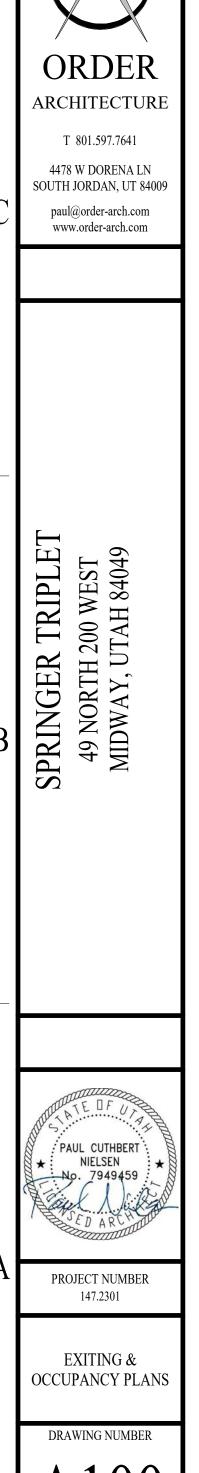
### EGRESS & OCCUPANCY LEGEND:

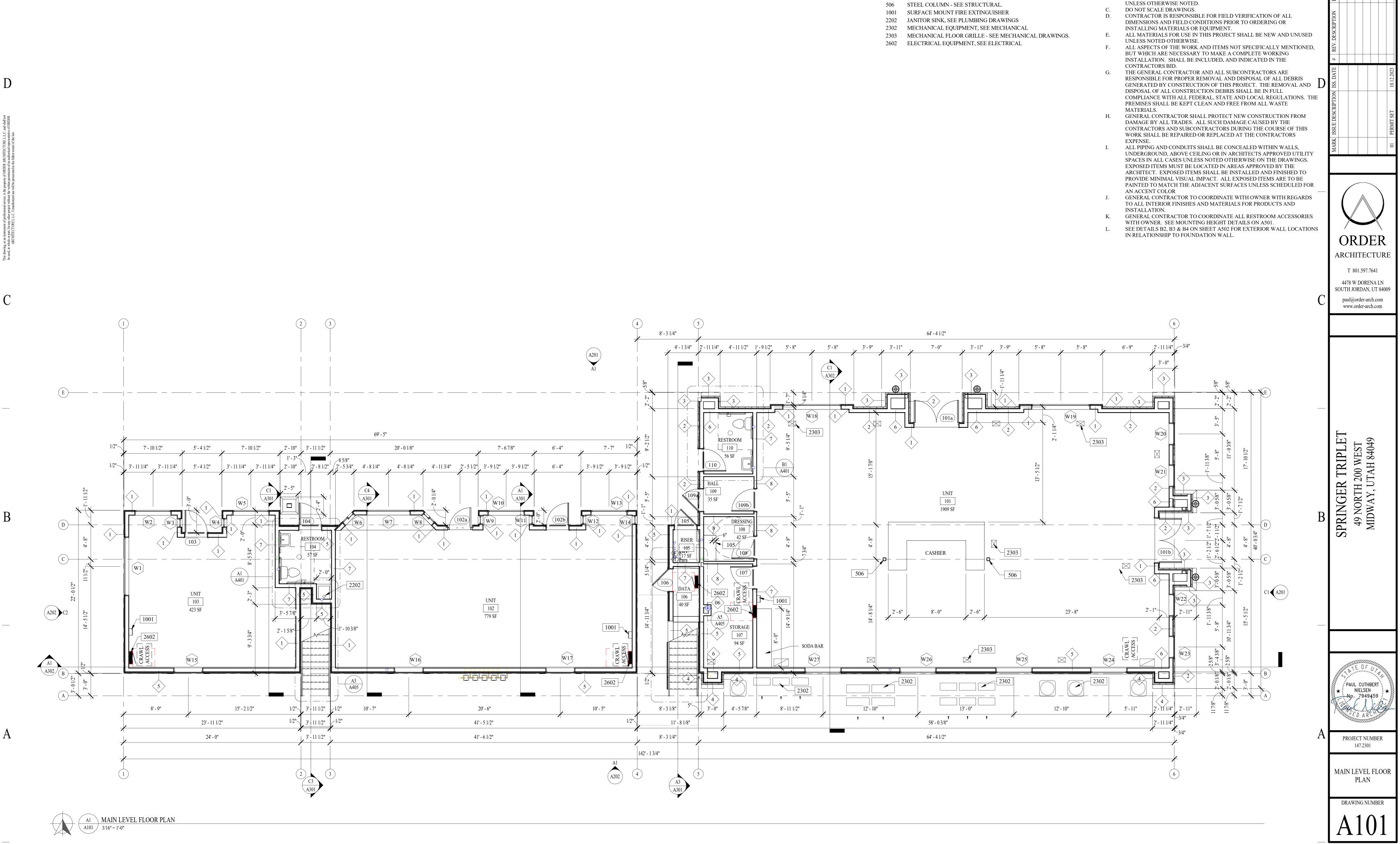
| EXIT    | EXIT DISCHARGE AND LOAD FACTOR |  |
|---------|--------------------------------|--|
| 160.000 | EATT DISCHARGE AND LOAD FACTOR |  |

| 169 OCC. |                                                                             |
|----------|-----------------------------------------------------------------------------|
| F.E.     | FIRE EXTINGUISHER (SURFACE-MOUNT). PROVIDE 2A:10BC RATED FIRE EXTINGUISHER. |
|          | LINE INDICATES TRAVEL DISTANCE TO FIRE EXTINGUISHERS                        |
|          | LINE INDICATES EXIT ACCESS (<250') / COMMON PATH OF EGRESS TRAVEL (<75')    |
|          | 1/2 HOUR FIRE RATED PARTITION                                               |
|          | 1 HOUR FIRE RATED PARTITION                                                 |

| OCCUPANCY LOAD SCHEDULE |            |         |                |           |
|-------------------------|------------|---------|----------------|-----------|
| SPACE                   | OCCUPANCY  | AREA    | LOAD<br>FACTOR | OCCUPANTS |
| MAIN LEVEL              |            |         |                |           |
| 101 UNIT                | MERCANTILE | 2069 SF | 60             | 35        |
| 102 UNIT                | MERCANTILE | 880 SF  | 60             | 15        |
| 103 UNIT                | MERCANTILE | 479 SF  | 60             | 8         |
| 104 RESTROOM            | MERCANTILE | 71 SF   | 60             | 2         |
| 107 STORAGE             | STORAGE    | 118 SF  | 300            | 1         |
| 110 RESTROOM            | MERCANTILE | 77 SF   | 60             | 2         |
| DRESSING                |            | 47 SF   |                |           |
| EQUIPMENT               | EQUIPMENT  | 44 SF   | 300            | 1         |
| HALL                    |            | 42 SF   |                |           |
|                         |            | 3827 SF |                | 64        |
| SECOND LEVEL            |            |         |                |           |
| RESIDENTIAL             |            | 4671 SF | 200            | 24        |
|                         |            | 4671 SF |                | 24        |
| TOTAL OCCUPANTS         |            | 8498 SF |                | 88        |





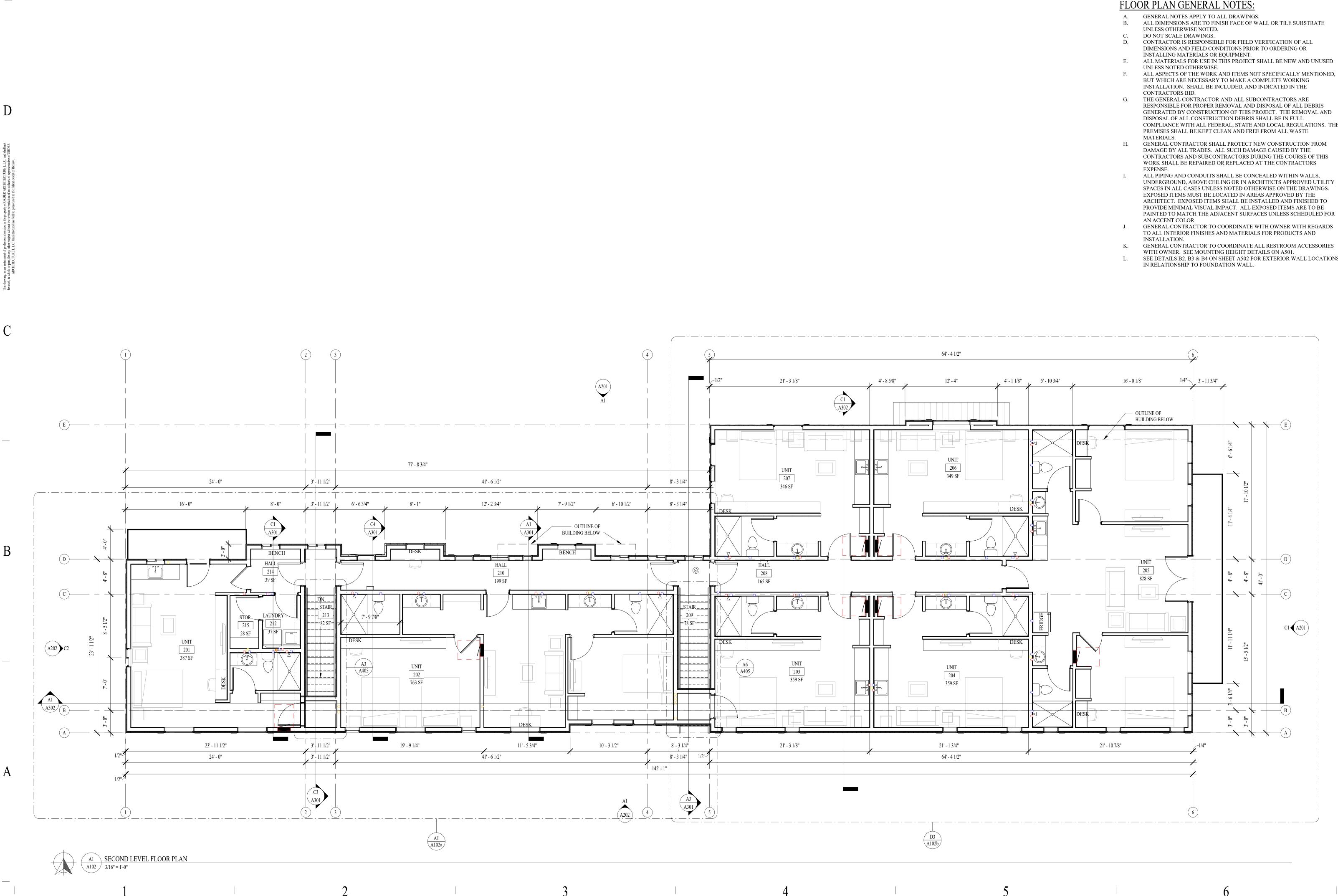


| KEY | YNOTE | LEGENI |
|-----|-------|--------|
|     |       |        |

| 105  | DRESSING ROOM BENCH TO   |
|------|--------------------------|
|      | PER DIMENSION SHOWN FR   |
| 506  | STEEL COLUMN - SEE STRUC |
| 1001 | SURFACE MOUNT FIRE EXTI  |
| 2202 | JANITOR SINK, SEE PLUMBI |
| 2302 | MECHANICAL EQUIPMENT,    |
| 2303 | MECHANICAL FLOOR GRILL   |
| 2602 | ELECTRICAL FOURMENT S    |

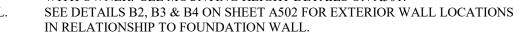
- O ALLOW ADA CLEAR TOE CLEARANCE
- ROM 0" TO 9" ABOVE FLOOR.

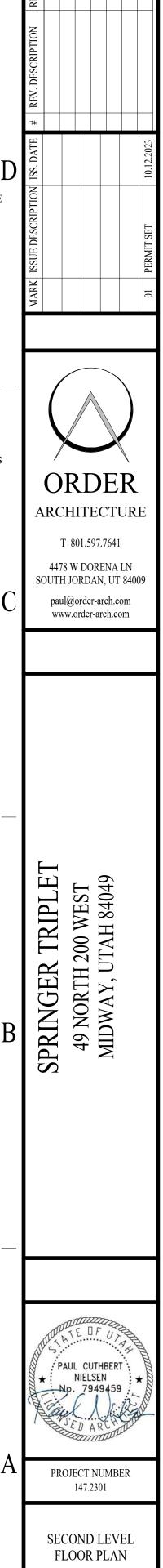
- FLOOR PLAN GENERAL NOTES:
- GENERAL NOTES APPLY TO ALL DRAWINGS. А. ALL DIMENSIONS ARE TO FINISH FACE OF WALL OR TILE SUBSTRATE В. UNLESS OTHERWISE NOTED.



### FLOOR PLAN GENERAL NOTES:

- RESPONSIBLE FOR PROPER REMOVAL AND DISPOSAL OF ALL DEBRIS GENERATED BY CONSTRUCTION OF THIS PROJECT. THE REMOVAL AND COMPLIANCE WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS. THE
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- GENERAL CONTRACTOR TO COORDINATE WITH OWNER WITH REGARDS TO ALL INTERIOR FINISHES AND MATERIALS FOR PRODUCTS AND
- GENERAL CONTRACTOR TO COORDINATE ALL RESTROOM ACCESSORIES



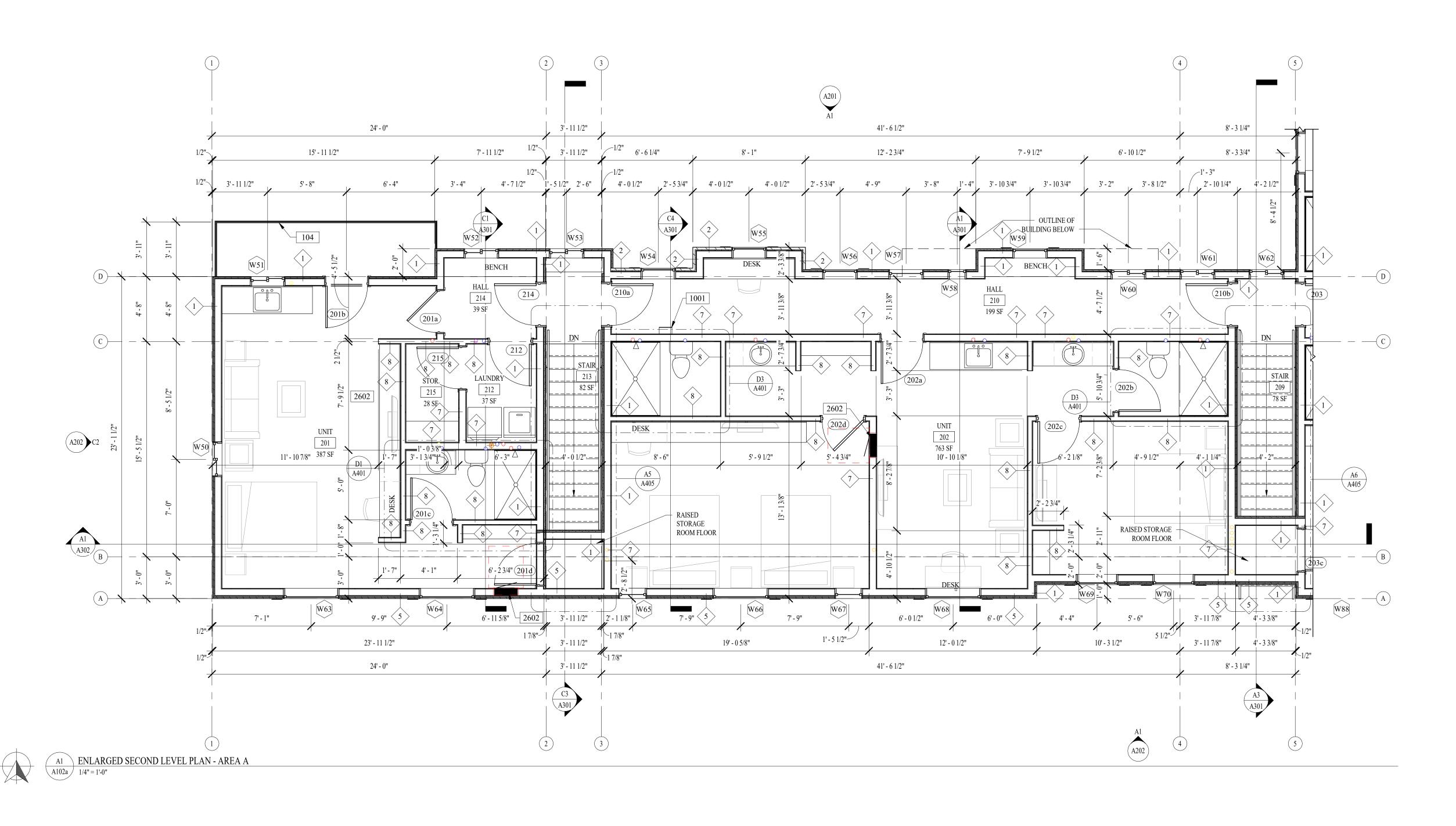


DRAWING NUMBER



В

A



2

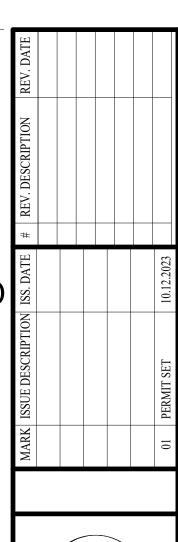


3

2602 ELECTRICAL EQUIPMENT, SEE ELECTRICAL

### FLOOR PLAN GENERAL NOTES:

- GENERAL NOTES APPLY TO ALL DRAWINGS. A. ALL DIMENSIONS ARE TO FINISH FACE OF WALL OR TILE SUBSTRATE В. UNLESS OTHERWISE NOTED.
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- G. THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS ARE RESPONSIBLE FOR PROPER REMOVAL AND DISPOSAL OF ALL DEBRIS GENERATED BY CONSTRUCTION OF THIS PROJECT. THE REMOVAL AND  $\bigcup$ DISPOSAL OF ALL CONSTRUCTION DEBRIS SHALL BE IN FULL COMPLIANCE WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS. THE PREMISES SHALL BE KEPT CLEAN AND FREE FROM ALL WASTE MATERIALS. H.
- GENERAL CONTRACTOR SHALL PROTECT NEW CONSTRUCTION FROM DAMAGE BY ALL TRADES. ALL SUCH DAMAGE CAUSED BY THE CONTRACTORS AND SUBCONTRACTORS DURING THE COURSE OF THIS WORK SHALL BE REPAIRED OR REPLACED AT THE CONTRACTORS EXPENSE. I.
- ALL PIPING AND CONDUITS SHALL BE CONCEALED WITHIN WALLS, UNDERGROUND, ABOVE CEILING OR IN ARCHITECTS APPROVED UTILITY SPACES IN ALL CASES UNLESS NOTED OTHERWISE ON THE DRAWINGS. EXPOSED ITEMS MUST BE LOCATED IN AREAS APPROVED BY THE ARCHITECT. EXPOSED ITEMS SHALL BE INSTALLED AND FINISHED TO PROVIDE MINIMAL VISUAL IMPACT. ALL EXPOSED ITEMS ARE TO BE PAINTED TO MATCH THE ADJACENT SURFACES UNLESS SCHEDULED FOR AN ACCENT COLOR
- GENERAL CONTRACTOR TO COORDINATE WITH OWNER WITH REGARDS TO ALL INTERIOR FINISHES AND MATERIALS FOR PRODUCTS AND INSTALLATION.
- GENERAL CONTRACTOR TO COORDINATE ALL RESTROOM ACCESSORIES Κ. WITH OWNER. SEE MOUNTING HEIGHT DETAILS ON A501.
- SEE DETAILS B2, B3 & B4 ON SHEET A502 FOR EXTERIOR WALL LOCATIONS L. IN RELATIONSHIP TO FOUNDATION WALL.





paul@order-arch.com www.order-arch.com

SPRINGER TRIPLET 49 NORTH 200 WEST MIDWAY, UTAH 84049

PAUL CUTHBERT NIELSEN No. 7949459

PROJECT NUMBER 147.2301

ENLARGED SECONI

LEVEL FLOOR PLAN AREA A

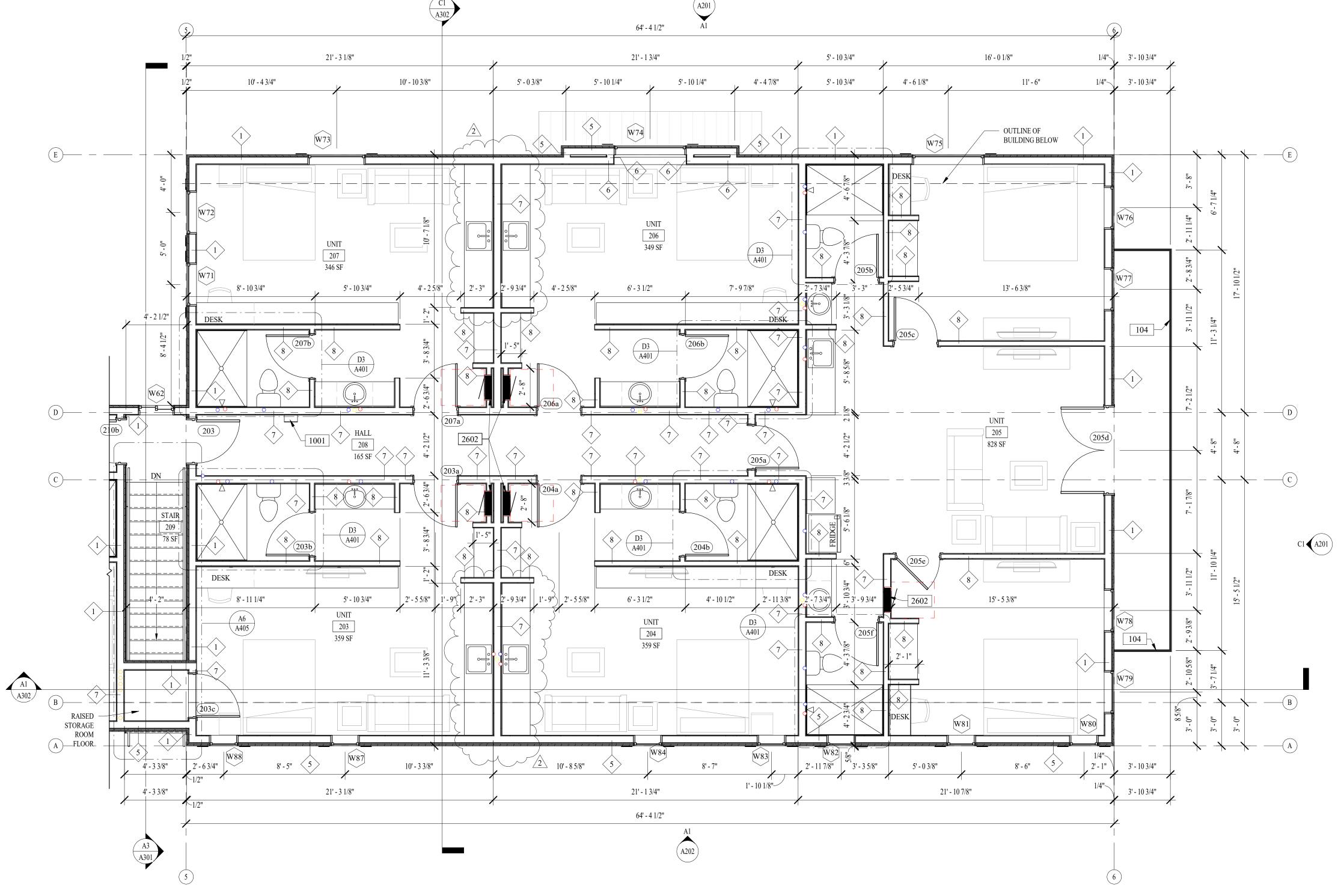
DRAWING NUMBER

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D3 ENLARGED SECOND LEVEL PLAN - AREA B A102b 1/4" = 1'-0"



2

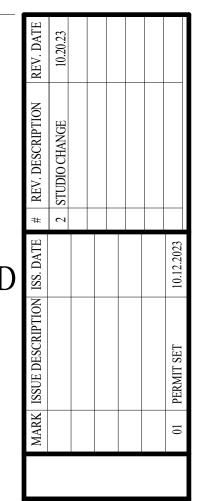


3

### FLOOR PLAN GENERAL NOTES: A.

D.

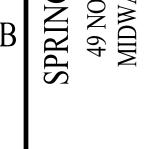
- GENERAL NOTES APPLY TO ALL DRAWINGS. ALL DIMENSIONS ARE TO FINISH FACE OF WALL OR TILE SUBSTRATE В. UNLESS OTHERWISE NOTED. C.
  - DO NOT SCALE DRAWINGS. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF ALL DIMENSIONS AND FIELD CONDITIONS PRIOR TO ORDERING OR
- INSTALLING MATERIALS OR EQUIPMENT. ALL MATERIALS FOR USE IN THIS PROJECT SHALL BE NEW AND UNUSED E.
- UNLESS NOTED OTHERWISE. ALL ASPECTS OF THE WORK AND ITEMS NOT SPECIFICALLY MENTIONED, F. BUT WHICH ARE NECESSARY TO MAKE A COMPLETE WORKING
- INSTALLATION. SHALL BE INCLUDED, AND INDICATED IN THE CONTRACTORS BID. G. THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS ARE RESPONSIBLE FOR PROPER REMOVAL AND DISPOSAL OF ALL DEBRIS
- GENERATED BY CONSTRUCTION OF THIS PROJECT. THE REMOVAL AND DISPOSAL OF ALL CONSTRUCTION DEBRIS SHALL BE IN FULL COMPLIANCE WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS. THE PREMISES SHALL BE KEPT CLEAN AND FREE FROM ALL WASTE MATERIALS.
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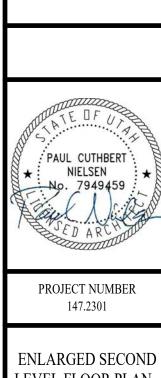


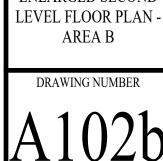


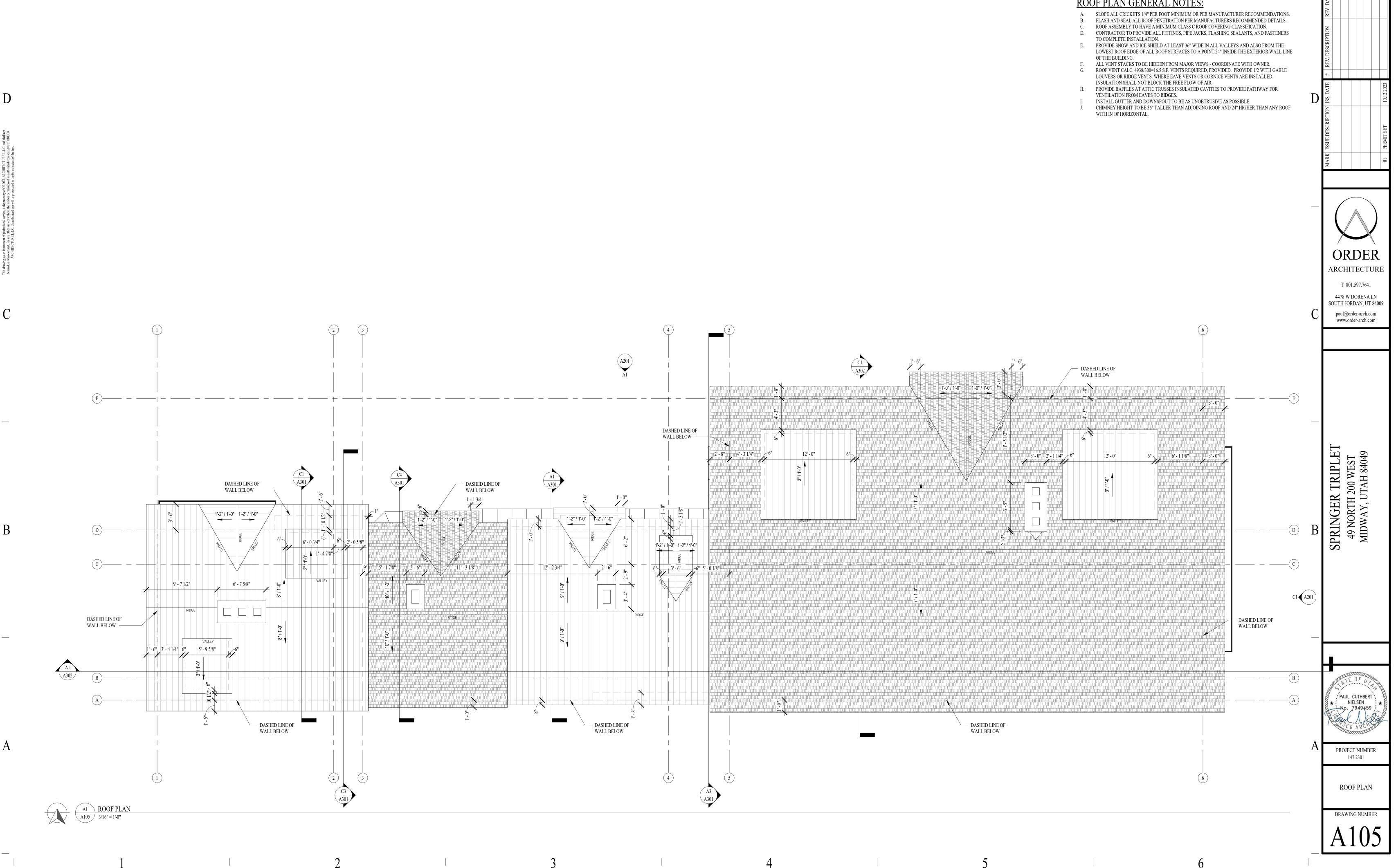
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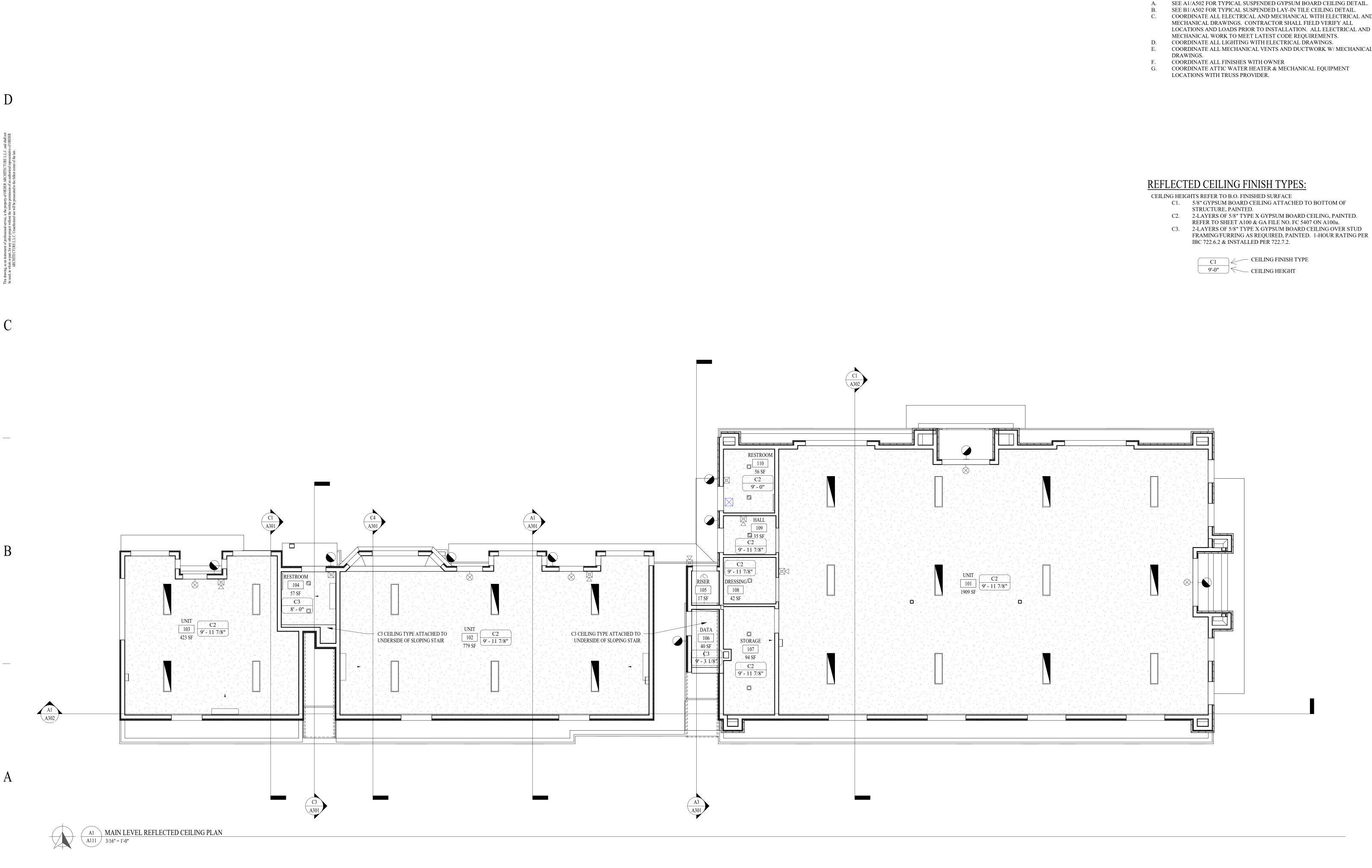








### **ROOF PLAN GENERAL NOTES:**



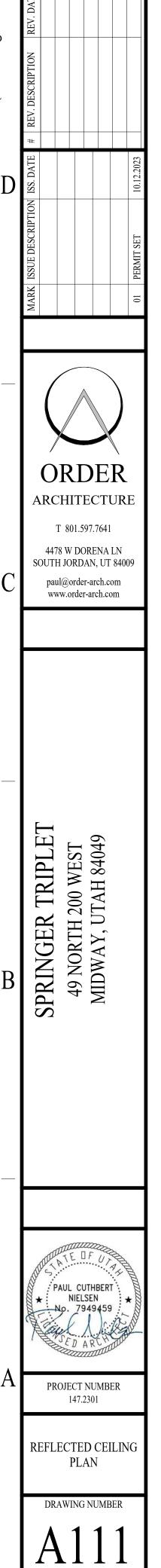
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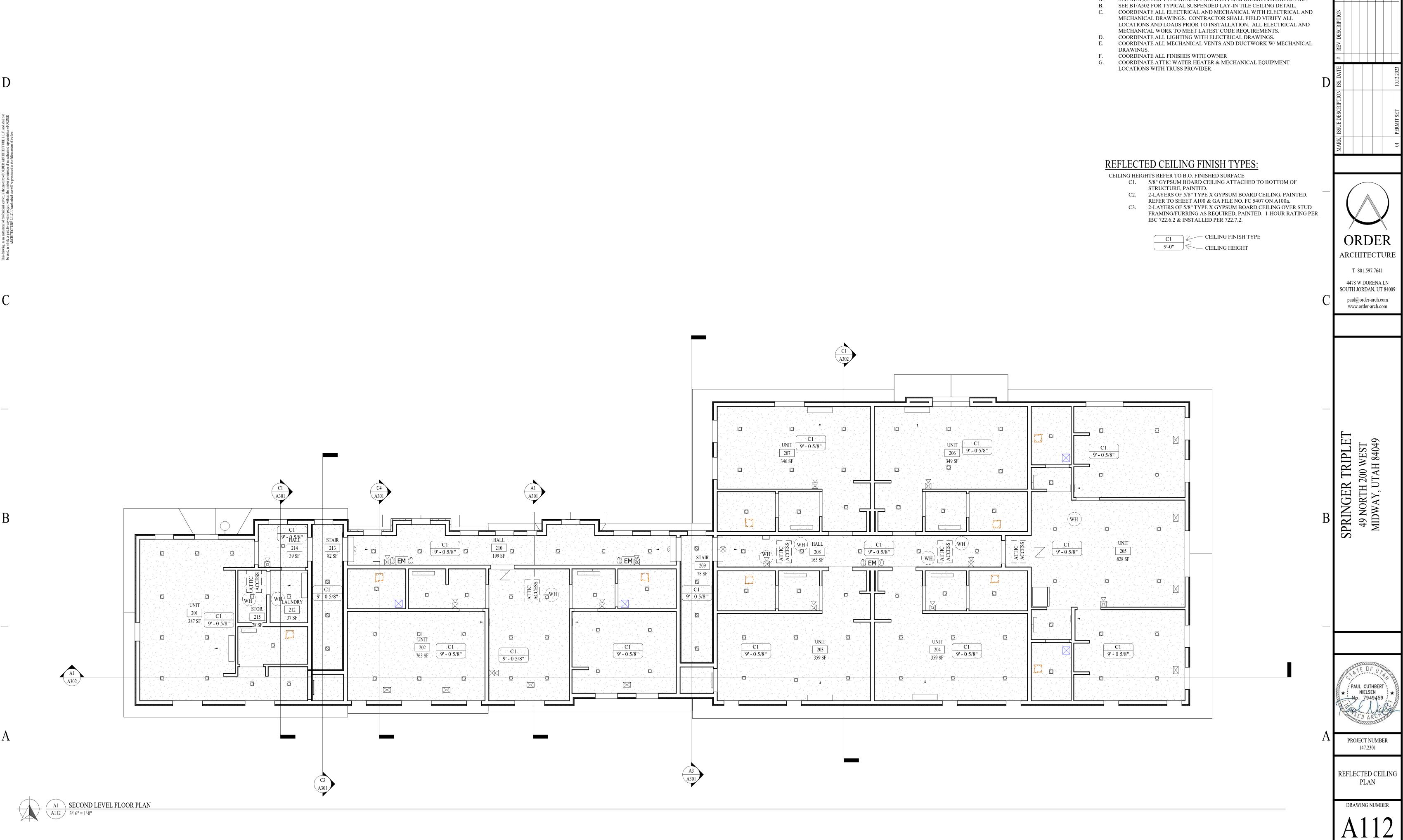
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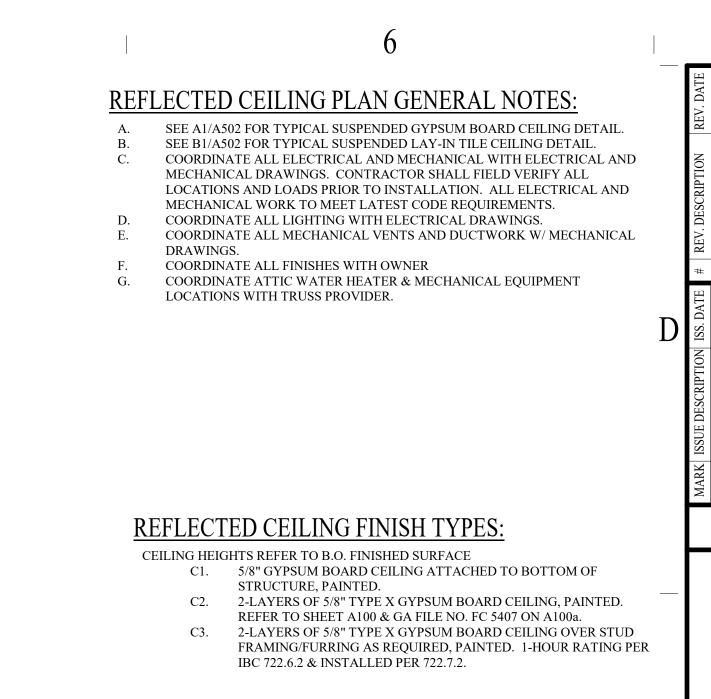
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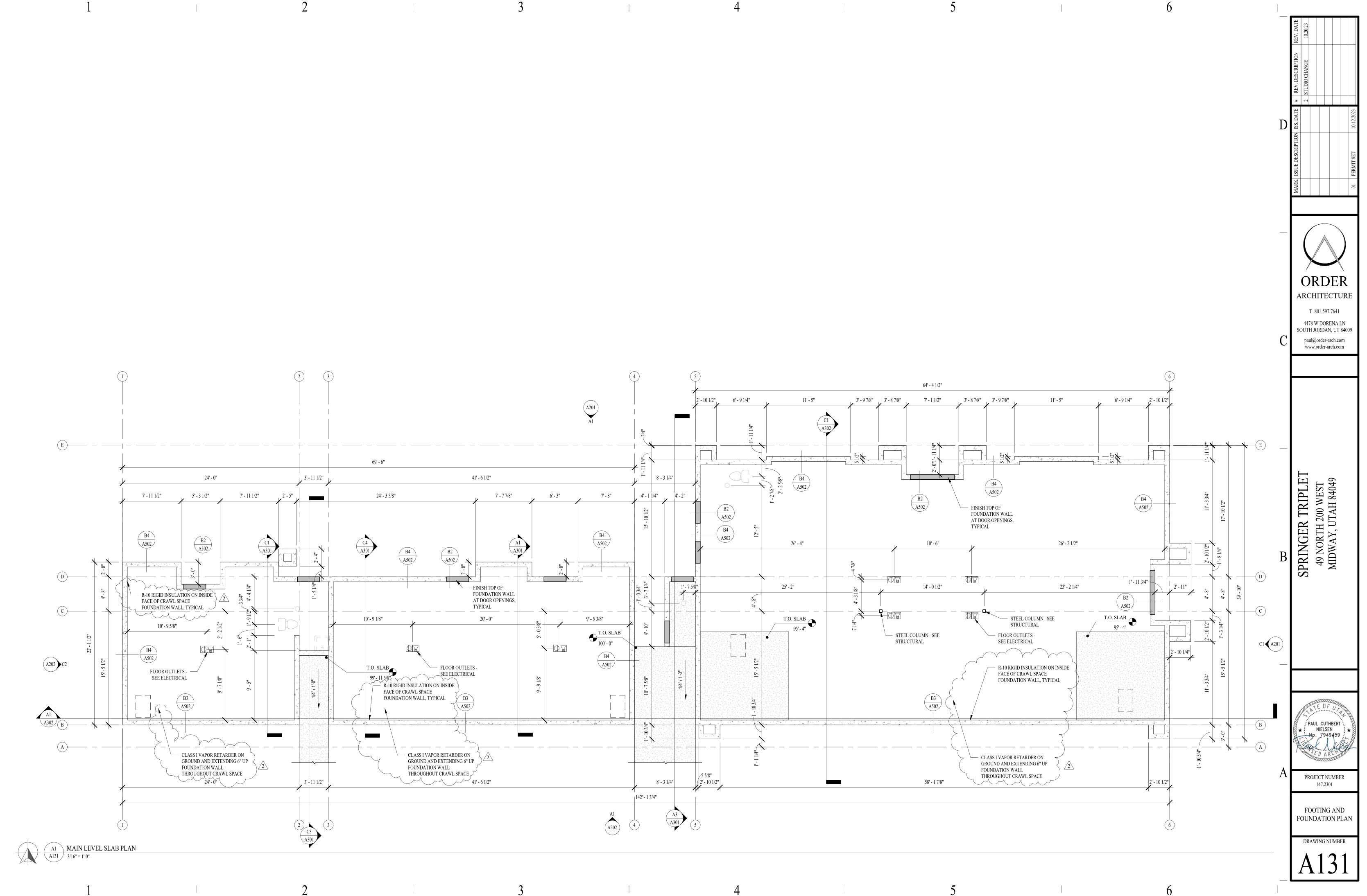
### **REFLECTED CEILING PLAN GENERAL NOTES:**

- SEE A1/A502 FOR TYPICAL SUSPENDED GYPSUM BOARD CEILING DETAIL. SEE B1/A502 FOR TYPICAL SUSPENDED LAY-IN TILE CEILING DETAIL. COORDINATE ALL ELECTRICAL AND MECHANICAL WITH ELECTRICAL AND MECHANICAL DRAWINGS. CONTRACTOR SHALL FIELD VERIFY ALL LOCATIONS AND LOADS PRIOR TO INSTALLATION. ALL ELECTRICAL AND
- MECHANICAL WORK TO MEET LATEST CODE REQUIREMENTS. COORDINATE ALL LIGHTING WITH ELECTRICAL DRAWINGS. COORDINATE ALL MECHANICAL VENTS AND DUCTWORK W/ MECHANICAL
- COORDINATE ALL FINISHES WITH OWNER
- COORDINATE ATTIC WATER HEATER & MECHANICAL EQUIPMENT LOCATIONS WITH TRUSS PROVIDER.









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